

**Notice of an Electronically Conducted
Regular Meeting of the Charter Township of Union
Planning Commission**

Notice is hereby given that the Charter Township of Union Planning Commission will conduct a regular meeting electronically on Tuesday, June 15, 2021 at 7:00 p.m., consistent with the emergency declarations and direction from state and county health officials to slow the spread of the COVID-19 virus and the Open Meetings Act (Public Act 267 of 1976, as amended)."

There will be no in-person attendance in the Township Hall Board Room (2010 S. Lincoln Rd., Mt. Pleasant, MI 48858), although some Planning Commission members and Township staff may choose to participate from this location.

All interested persons may attend and participate. The public may participate in the meeting by computer and smart phone using the following link to the electronic meeting location: <https://us02web.zoom.us/j/89299549537> (Meeting ID: "892 9954 9537" Passcode "673358"). The moderator will open public access to the electronic meeting space at 6:55 p.m.

To participate via telephone conference call, please call (312) 626-6799. Enter "892 995 9537" and the "#" sign at the "Meeting ID" prompt and then enter "673358" at the "Passcode" prompt. Lastly, re-enter the "#" sign again at the "Participant ID" prompt to join the meeting.

The meeting agenda, packet of materials relating to the meeting, and instructions for connecting to the meeting electronically are available on the Township's website under "Minutes and Board Packets" at <http://www.uniontownshipmi.com/>.

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please use the "Raise Your Hand" button at the bottom center of the screen. To raise your hand for telephone dial-in participants, press "star" and then the number "nine" (*9). The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

If there are a large number of participants, the Chair may choose to call on individuals by name or telephone number. Please speak clearly and provide your name and address before making your comments. Please note that the meeting moderator will control the muting and unmuting of participants during public comment.

Written comments to the Planning Commission may also be delivered to the drop box at the Township Hall. Comments received prior to 3:00 p.m. on the day of the meeting will be read aloud to the Planning Commission.

Persons with disabilities needing assistance to participate should call the Township office at (989) 772-4600. Persons requiring speech or hearing assistance may contact the Township through the Michigan Relay Center at 711. A minimum of one (1) business day of advance notice will be necessary for accommodation.

**Instructions to Participate in an Electronically Conducted
Regular Meeting of the Charter Township of Union
Planning Commission**

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Raise Your Hand for Citizen Participation During the Public Comment Periods

Questions and comments will be received during the public comment sections of the meeting. For participants accessing via computer or smartphone to indicate a desire to address the Planning Commission, please **click on the "Raise Your Hand" icon** near the bottom of your screen.



Click "Lower Hand" to lower it if needed. The host will be notified that you have raised your hand. The Mute/Unmute function will be controlled by the meeting moderator.

To raise your hand for telephone dial-in participants, press "star" and then the number "nine" (*9).

The Chair will call on you by the last three digits of your phone number to invite any comment, at which time you will be unmuted by the meeting moderator.

Do I need to download the Zoom app to access the meeting? No. Use of the Zoom app is recommended, but you will have options to "download & run Zoom" or "join from your browser" when you click on the link to join the meeting.

Can I Use Bluetooth Headset? Yes, if the Bluetooth device is compatible with the computer or mobile device that you are using.

Do I have to have a webcam to join on Zoom? While you are not required to have a webcam to join a Zoom Meeting, you will not be able to transmit video of yourself. You will continue to be able to listen and speak during public comment and view the webcam video of other participants.

Leaving the Meeting: Click the "Leave Meeting" link at the bottom right corner of the screen at any time to leave the meeting.



Planning Commission
Regular Electronic Meeting. Instructions for access will be posted and available on website
(uniontownshipmi.com) home page
June 15, 2021
7:00 p.m.

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES

-May 18, 2021

6. CORRESPONDENCE / BOARD REPORTS / PRESENTATIONS
 - A. Cody updates from Board of Trustees
 - B. Buckley updates from ZBA
 - C. Darin updates from Sidewalk and Pathways
 - D. Accept Lisa Cody's resignation from the Planning Commission with a vote of thanks
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. **PSUP21-01 New Isabella County Jail and Sheriff's Office - Special Use Permit Application**
 - a. Introduction
 - b. Public hearing
 - c. Updates from staff and the applicant
 - d. Commission deliberation and action (recommend approval, denial, or approval with conditions to the Board of Trustees; or postpone action)
 - B. **PSPR21-12 County Jail – Sheriff's Office – Preliminary Site Plan Application**
 - a. Introduction
 - b. Updates from staff and the applicant
 - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

- C. PSUP21-02 Krist Filling Station (Gas Station) - Special Use Permit Application**
 - a. Introduction**
 - b. Public hearing**
 - c. Updates from staff and the applicant**
 - d. Commission deliberation and action (recommend approval, denial, or approval with conditions to the Board of Trustees; or postpone action)**

- D. PSPR21-15 Krist Filling Station (Gas Station) – Preliminary Site Plan Application**
 - a. Introduction**
 - b. Updates from staff and the applicant**
 - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

- E. PSPR21-13 5048-5082 E. Pickard Rd. Dollar General Retail Store – Combined Preliminary and Final Site Plan Application**
 - a. Introduction**
 - b. Updates from staff and the applicant**
 - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

- F. PSPR21-14 Summerhill Village Mobile Home Park - New Clubhouse and Parking Lot Improvements – Preliminary Site Plan Application**
 - a. Introduction**
 - b. Updates from staff and the applicant**
 - c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)**

9. OTHER BUSINESS

10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

11. FINAL BOARD COMMENT

12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular - Electronic Meeting Minutes

A regular-electric meeting of the Charter Township of Union Planning Commission was held on May 18, 2021 as a virtual meeting through the Zoom meeting platform.

Meeting was called to order at 7:01 p.m.

Roll Call

Present:

Albrecht (location: Union Township, Isabella County, Mt. Pleasant, MI)
Buckley (location: Union Township, Isabella County, Mt. Pleasant, MI)
Clerk Cody (location: Union Township, Isabella County, Mt. Pleasant, MI)
Darin (location: Union Township, Isabella County, Mt. Pleasant, MI)
LaBelle (location: Union Township, Isabella County, Mt. Pleasant, MI)
Lapp (location: Union Township, Isabella County, Mt. Pleasant, MI)
Shingles (location: Union Township, Isabella County, Mt. Pleasant, MI)
Squatrito (location: Isabella County, Mt. Pleasant, MI)

Excused:

Fuller

Others Present

Rodney Nanney, Community and Economic Development Director; Zoning Administrator, Peter Gallinat, Public Service Assistant, Jennifer Loveberry and Administrative Assistant, Tera Green

Approval of Minutes

Darin moved **Cody** supported the approval of the April 20, 2021 regular meeting as presented.

Vote: Ayes: 8 Nays: 0. Motion carried.

Correspondence / Reports/ Presentations

- A. Board of Trustee updates by Clerk Cody
- B. ZBA updates by Buckley – No meeting in May; there will be no meeting in June
- C. Sidewalks and Pathway Prioritization updates by Darin

Approval of Agenda

Lapp moved **Cody** supported to approve the Agenda as presented. **Vote: Ayes: 8 Nays: 0.**

Motion Carried.

Public Comment

Open 7:10 p.m.

No comments were offered.

Closed 7:10 p.m.

New Business

A. PSPR21-08 McGuirk Mini-Storage Expansion – Final Site Plan

- a. Introduction
- b. Updates from staff and applicant
- c. Commission deliberation and action (approval, denial, approval with conditions)

* Possible conflict of Interest by Commissioner LaBelle acknowledged by the Commissioners.

Buckley moved **Cody** supported that there is no perceived conflict of interest with the Planning Commission and to allow Commissioner LaBelle to participate in the review of the site plan. **Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, LaBelle, Lapp, Shingles, and Squattrito Nays: 0 Abstained: LaBelle. Motion carried.**

Introduction by Nanney of PSPR21-08 Final Site Plan Approval application for phase 2 of self-storage buildings approximately 8.87 acres located at the western dead end of Lexi lane in the NE 1/4 of Section 20. Project engineer Tim Bebee updated the Commission about the plan details and answered commissioner questions.

Cody moved **Lapp** supported to approve the PSPR 21-08 final site plan for phase 2 of the McGuirk Mini Storage buildings on parcel number 14-020-20-001-05, located on approximately 8.87 acres located at the western dead end of Lexi lane in the northeast quarter of Section 20 and in the B-5 (Highway Business) zoning district, finding that the April 23, 2021 site plan can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following conditions:

1. Township Public Services Department approval, prior to issuance of a building permit for this project.
2. Details and manufacturer's specification sheets for the proposed exterior wall-pack fixtures and an updated photometric plan sheet referencing the specific fixtures shall be submitted to the Zoning Administrator for administrative review and acceptance, prior to issuance of a building permit for this project.

Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, LaBelle, Lapp, Shingles, and Squattrito Nays: 0. Motion carried.

B. PSPR21-09 The Den on Broomfield – Final Site Plan

- a. Introduction
- b. Updates from staff and applicant
- c. Commission deliberation and action (approval, denial, approval with conditions)

Introduction by Nanney of PSPR21-09 Final Site Plan Approval application for two (2) mixed-use commercial-residential buildings approximately 2.14 acres located at the southwest corner

of E. Broomfield Rd. and Sweeney Rd. in the NE ¼ of Section 26. The project's civil engineer and architect updated the Commission about the site plan and building details and answered commissioner questions.

LaBelle moved **Darin** supported to accept the proposed building elevations as presented, finding that the building form, composition, and mix of exterior façade materials depicted on the final site plan sheets A4.0 and A4.1 for The Den on Broomfield development are consistent with adopted Master Plan policies for the Bluegrass Center Area and commercial development. **Roll Call Vote: Ayes: Albrecht, Cody, Darin, Fuller, LaBelle, Shingles, and Squattrito Nays: Buckley. Motion carried.**

LaBelle moved **Darin** to approve the PSPR 21-09 final site plan for The Den on Broomfield development, which consists of two (2) mixed-use commercial-residential buildings on parcel numbers 14-103-00-001-00 and 14-103-00-02-00, located on approximately 2.14 acres located at the southwest corner of E. Broomfield Road and Sweeney Road in the northeast quarter of Section 26 and in the B-5 (Highway Business) zoning district, finding that the April 22, 2021 site plan can comply with applicable Zoning Ordinance requirements for final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following conditions:

1. Township Public Services Department approval, prior to issuance of a building permit for this project.
2. Revise the final site plan to correct typos on plan for parking calculations, landscaping, and other notes; add the required landscape plantings installation and maintenance plan details; and correct the photometric plan and provide the fixture details and specifications needed to confirm compliance with Section 8.2 (Exterior Lighting).
3. Submittal of a revised final site plan for administrative review and acceptance by the Zoning Administrator, prior to issuance of a building permit for this project.

Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.

C. PSPR21-10 Broomfield Commons Condominium, 2420 E. Broomfield Rd. Nest Phase – Combined Preliminary and Final Site Plan

- a. Introduction
- b. Updates from staff and applicant
- c. Commission deliberation and action (approval, denial, approval with conditions)

Introduction by Nanney of PSPR21-10 Combined Preliminary and Final Site Plan approval application for the next phase of the Broomfield Commons Condominium commercial development approximately 10.1 acres on the south side of E. Broomfield Rd. 2,000 feet east of S. Lincoln Rd. in the NW ¼ of Section 28. Project engineer Tim Bebee updated the Commission about the plan details and answered commissioner questions.

Cody moved **Buckley** supported to approve the PSPR 21-10 combined preliminary and final site plan for the next phase of the Broomfield Commons Condominium commercial development on parcel number 14-048-00-006-00, located on approximately 10.1 acres on the south side of E. Broomfield Rd. 2,000 feet east of S. Lincoln Rd. in the northwest quarter of Section 28 and in the and in the B-4 (General Business) zoning district, finding that the April 26, 2021 site plan can comply with applicable Zoning Ordinance requirements for preliminary and final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following conditions:

1. Township Public Services Department approval, prior to issuance of building permits for this project.
2. Provide a copy of the as-recorded easement for the new public sidewalk outside of the road right-of-way to the Zoning Administrator prior to issuance of building permits for this project.
3. Add the missing items of required information per Section 14.2.P. to a revised site plan.
4. Correct and update the trash dumpster details, parking and loading space details, and landscaping details on a revised site plan to conform to Zoning Ordinance requirements.
5. Provide the required photometric plan and exterior lighting details and specifications to verify compliance with Section 8.2 as part of a revised final site plan set.
6. Submittal of a revised final site plan for administrative review and acceptance by the Zoning Administrator, prior to issuance of a building permit.
7. Conditions set for stormwater management by the county Drain Commissioner's Office are met.

Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.

D. PSPR 21-11 2266 Northway Drive Combined Preliminary and Final Site Plan

- a. Introduction
- b. Updates from staff and applicant
- c. Commission deliberation and action (approval, denial, approval with conditions, or postpone action)

Introduction by Nanney of PSPR21-11 – Combined Preliminary and Final Sited Plan Approval Application for improvements to an existing industrial building and site to accommodate a new package distribution facility at 226 Northway Drive, 1.92 acres on the west side of Northway Drive in the NE ¼ of Section 13. The project's design team updated the Commission about the plan details, answered commissioner questions, and confirmed a request for temporary relief from public sidewalk construction based on the site's location in an industrial district.

Cody moved **Lapp** supported to approve the PSPR 21-11 combined preliminary and final site plan for improvements to an existing industrial building and site to accommodate a new package distribution facility at 2266 Northway Drive on parcel number 14-152-00-005-02, located on approximately 1.92 acres on the west side of Northway Drive in the northeast quarter of Section

13 and in the I-2 (General Industrial) zoning district, finding that the April 26, 2021 site plan can comply with applicable Zoning Ordinance requirements for preliminary and final site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following conditions:

1. Add the missing items of required information per Section 14.2.P. to a revised site plan.
2. Correct and update the sidewalk, exterior lighting, parking, and landscaping details on a revised site plan to conform to Zoning Ordinance requirements.
3. Confirmation by the Zoning Administrator that all required documentation of permits or approvals have been received from the Mt. Pleasant Fire Department, the Isabella County Transportation Commission, the Isabella County Road Commission for the expanded driveway approach, the Isabella County Drain Commissioner's Office for stormwater management approval, and the Township's Public Services Department for water and sanitary sewer documentation, prior to issuance of a building permit.
4. Submittal of a revised final site plan for administrative review and acceptance by the Zoning Administrator, prior to issuance of a building permit.
5. Temporary relief from public sidewalk construction is granted based on the parcel location in an industrial zoning district.

Roll Call Vote: Ayes: Albrecht, Buckley, Cody, Darin, Fuller, LaBelle, Shingles, and Squattrito Nays: 0. Motion carried.

Extended Public Comments

Open – 9:30 p.m.

No comments were offered.

Closed – 9:38 p.m.

Final Board Comment

Buckley – Congratulations to Commissioner LaBelle for his return to the Michigan Open Squattrito – Welcome Tera Green, Administrative Assistant to the Planning Commission and thank you to Jennifer Loveberry, Public Services Assistant for her past service to the Planning Commission

Darin – Welcome Tera Green to the Planning Commission

Adjournment – Chairman Squattrito adjourned the meeting at 9:41 p.m.

APPROVED BY:

Doug LaBelle - Secretary

(Recorded by Tera Green)

Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2024
2-Chair	Phil	Squatrito	2/15/2023
3-Vice Chair	Ryan	Buckley	2/15/2022
4-Secretary	Doug	LaBelle II	2/15/2022
5 - Vice Secretary	Stan	Shingles	2/15/2024
6	Tera	Albrecht	2/15/2024
7	Mike	Darin	2/15/2022
8	Alex	Fuller	2/15/2023
9	Jessica	Lapp	2/15/2023
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1- PC Rep	Ryan	Buckley	2/15/2022
2 - Chair	Andy	Theisen	12/31/2022
3 - Vice Chair	Liz	Presnell	12/31/2022
4 - Secretary	vacant seat		12/31/2021
5 - Vice Secretary	Judy	Lannen	12/31/2022
Alt. #1	Brandon	LaBelle	12/31/2022
Alt. #2	vacant seat		2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2022
2	Sarvjit	Chowdhary	12/31/2022
3	Bryan	Neyer	12/31/2022
Alt #1	Randy	Golden	12/31/2022
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2021
2	Richard	Jakubiec	12/31/2021
3	Andy	Theisen	12/31/2021
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2022
2	John	Dinse	12/31/2021
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2023
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Bryan	Mielke	11/2024
2	Thomas	Kequom	4/14/2023
3	James	Zalud	4/14/2023
4	Richard	Barz	2/13/2025
5	Robert	Bacon	1/13/2023
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2023
9	Jeff	Sweet	2/13/2025
10	vacant seat		2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2022
2	vacant seat		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Robert	Sommerville	12/31/2022
Sidewalks and Pathways Prioritization Committee (2 year term -PC Appointments)			
#	F Name	L Name	Expiration Date
1 - BOT Representative	Kimberly	Rice	11/20/2024
2 - PC Representative	Mike	Darin	8/15/2022
3 - Township Resident	Jeff	Siler	8/15/2021
4 - Township Resident	Jeremy	MacDonald	10/17/2022
5 - Member at large	Phil	Hertzler	8/15/2021
Mid Michigan Aquatic Recreational Authority (2 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1 - City of Mt. Pleasant	John	Zang	12/31/2023
2 - City of Mt. Pleasant	Judith	Wagley	12/31/2022
1 -Union Township	Stan	Shingles	12/31/2023
2 - Union Township	Allison	Chiodini	12/31/2022
1- Mt. Pleasant Schools	Lisa	Diaz	12/31/2021

From: [Lisa Cody](#)
To: [Connie Bills](#); [Kimberly Rice](#); [Bill Hauck](#); [Jeff Brown](#); [James Thering](#); [Bryan Mielke](#)
Cc: [Peter Gallinat](#); [Mark Stuhldreher](#); [Rodney Nanney](#); squat1pj@cmich.edu
Subject: Representative to the Planning Commission
Date: Wednesday, May 26, 2021 3:45:14 PM

Board of Trustee members,

After careful consideration, I've decided to step down as the Board of Trustees representative to the Planning Commission. This is due to the increased odd year elections this year and at least 2 elections next year. It has been an honor and a privilege being on the Planning Commission for the last 3 years. This resignation is effective immediately 5/26/2021.

Sincerely,

Lisa Cody, Clerk
Charter Township of Union
Lcody@uniontownshipmi.com

Charter Township of Union


APPLICATION FOR SPECIAL USE PERMIT APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.3 (Special Use Permits); and be accompanied by a separate minor site plan or preliminary site plan application per Section 14.02.C. (Site Plan Approval Required).

Minor Site Plan
 Preliminary Site Plan

Name of Proposed Development/Project		Isabella Sheriff's Office and Correction Facility	
Common Description of Property & Address (if issued)		5270 E. Remus Road, Mt. Pleasant, MI 48858	
Applicant's Name(s)		ROWE Professional Services Company	
Phone/Fax numbers	(989) 772-2138	Email	tgrunder@rowepsc.com
Address	127 S. Main Street	City:	Mt. Pleasant
		Zip:	48858

Legal Description:	Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-024-20-001-00; 14-024-10-003-00	
Existing Zoning:	R-2A	Land Acreage:	44.58	Existing Use(s):	Vacant Agricultural Field
<input checked="" type="checkbox"/>	ATTACHED: Letter describing the proposed use and how it conforms to Section 14.3.J. (Standards for Special Use Approval)				

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name:	ROWE Professional Services Co.	Phone:	772-2138	Email:	tgrunder@rowepsc.com
	2. Address:	127 S. Main Street				
	City:	Mt. Pleasant	State:		Zip:	48858
	Contact Person:	Troy R. Grunder, P.E.	Phone	772-2138		
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name:	Isabella County	Phone:	(989) 772-0911		
	Address:	200 N. Main Street				
	City:	Mt. Pleasant	State:		Zip:	48858
	Signature:		Interest in Property:	owner		
	2. Name:		Phone:			
	Address:					
	City:		State:		Zip:	
	Signature:		Interest in Property:			

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for revocation of the special use permit approval. Approval of the requested special use shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

Troy Grunder, P.E. Digitally signed by Troy Grunder, P.E.
DN: C=US, E=tgrunder@rowepsc.com, OU=Senior Project Engineer,
O=ROWE Professional Services Company, CN=Troy Grunder, P.E.
Date: 2021.05.11 09:18:46-04'00'

05/11/2021

Signature of Applicant

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____



ROWE PROFESSIONAL SERVICES COMPANY

Large Firm Resources. Personal Attention.™

May 11, 2021

Mr. Rodney Nanney
Charter Township of Union
2010 S. Lincoln Road
Mt. Pleasant, MI 48858

RE: Isabella Sheriff's Office and Correction Facility – Special Use Permit Application

Dear Mr. Nanney:

On behalf of Isabella County, ROWE Professional Services Company is pleased to submit the Isabella Sheriff's Office and Correction Facility project for consideration for a special use designation within the R-2A (one and two family) district. The proposed project is located at 5270 East Remus Road.

As the Sheriff and county officials have communicated during previous discussions with the township, the existing correction facility located in downtown Mount Pleasant is in disrepair. A new facility is needed to provide the community with safe and controlled means of inmate housing and an overall modern Sheriff's office and correction facility that will serve the Isabella County community for years to come.

In addition to bettering the community, the proposed facility has been sited and designed with the existing woodland buffering, neighboring residents and landowners in mind. Careful attention has been given to building placement as well as utilizing natural buffering and screening the facility from neighboring businesses and residents as much as possible. The facility has been located strategically within the parcel. The proposed location allows for maintaining a natural site buffer and setback from the primary roadways to the north (E. Remus Rd) and east (US-127) and avoiding any grade changes near existing utility poles, while still allowing area for future growth. In addition, the architectural character of the facility is not that of a stereotypical decade's old jail. Rather, a strong and approachable civic presence has been created in the public facades that will be visible along E. Remus Road and, from a greater distance, Isabella Road. Finally, vehicular access from E. Remus Rd has been orchestrated to provide separate staff and visitor entrances and related internal site circulation.

Per section 14.3.J of the zoning ordinance, the Charter Township of Union has seven standards for special use approval. The following identify how the Isabella Sheriff's Office and Correction Facility meet those standards.

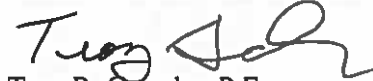
1. Public and institutional buildings are a permitted special use in the R-2A zoning district per section 3.8 of the zoning ordinance.
2. The proposed facility will have no hazardous or detrimental impacts to the environment or the public health and safety of the community. As noted above, the facility has been located on the site and designed with the neighboring businesses, residents and community in mind. There will be strategic landscape features on site to screen the facility from neighboring businesses, residents and minimal potential noise and light pollution. The building will have a civic and approachable design, not typical of a decades old jail. Its design will incorporate modern features and technology to ensure the safety of its staff, visitors, and the surrounding community.

Engineering | Surveying | Aerial Photography/Mapping | Landscape Architecture | Planning
Mt. Pleasant: 127 S. Main Street • Mt. Pleasant, MI 48858 • O (989) 772-2138 • F (989) 773-7757
With Offices In: Flint, MI (Corporate) • Lapeer, MI • Farmington Hills, MI • Grayling, MI • Myrtle Beach, SC
www.rowepsc.com

3. The design of the proposed facility will be compatible with the surrounding area. It will incorporate modern design features that create an enduring, civic, and approachable feel. The height of the facility that face roadways (E. Remus and Isabella) are single-story, with “back-of-house” and inmate housing being protected from views from these roadways. The site will also feature landscape and natural features to blend the site and facility into the natural surroundings.
4. Located in a “residential” zone, the parcel has been developed with careful building siting that is sensitive to the surrounding community, including its residential uses. Setbacks and buffering from roadways have been designed to create rural-like buffers along roadways, with landscaping and site berms being additive to further the buffering to neighboring parcels to the north and west. Internal site circulation, including parking, has been placed immediate to the building to reduce development impact closer to public roadways and neighboring parcels, maintaining a naturally appointed site around the parcel perimeter.
5. The design of the proposed facility and associated site conform to all applicable requirements and standards of the township ordinance.
6. The site for the proposed facility was carefully chosen, among other strategic features, due to the absence of dense residential neighboring parcels. Again, the design of the facility and site has had the sensitivity of neighboring businesses, residents and surrounding community in mind as a top priority. We are very sensitive to this and will continue to be cognizant of the neighboring businesses and residents not only during the design and construction phases, but after the facility is occupied. The current Isabella Co. Jail has a long-standing reputation in Mt. Pleasant as being an excellent neighbor within a dense residential area. We expect the same on this site.
7. We are currently working with the township to determine that the addition of the proposed facility will not exceed the existing or planned capacity of the municipal water and sewer systems. We will be providing information to the township as requested so that it can be confirmed that the existing water and sewer systems are adequate with the addition of the proposed facility.

We are very excited about this project and look forward to working with the Charter Township of Union as we continue forward and doing our part to better the communities of Isabella County and the Charter Township of Union.

Sincerely,
ROWE Professional Services Company



Troy R. Grunder, P.E.
Project Manager



Isabella County Sheriff's Office

Sheriff Michael Main · Undersheriff Tom Burns

207 Court Street · Mt. Pleasant, MI 48858 · (989) 772-5911 · FAX (989) 779-2739

Monday, May 10, 2021

Union Township Planning Board

The question has come up a couple of times regarding noise and noise related activities from the proposed new site of the Isabella County Sheriff's Office and Jail. Hopefully, this document will give the planning commission more comprehensive clarification related to potential noise concerns. First, the jail activities would not in my opinion create any noise pollution in or around the facility. The inmate population will not be outside doing activities that would create noise. On occasion we do use jail trustees to operate snow blower type equipment to keep sidewalks and other areas adjacent to the facility clear during inclement weather. Recently however, we have not utilized the trustee population for this purpose. This is in direct correlation to jail and bond reforms which have limited or in most cases eliminated the trustee population that would be approved via classifications to perform such activities. Currently those assignments are being handled by the County's buildings and grounds employees. I cannot think of any other related or possible related activities from the jail that would create a noise issue. Our current facility is extremely quite inside and out.

The second part of the question relates to law enforcement training activities. A question was recently posed regarding Emergency Vehicle Operations training (EVO). The parking lots that are proposed for the new facility would not accommodate this type of training. The Sheriff's Office along with other agencies partner for this type of training with CMU Police and perform such trainings on their campus, during the summer months. There is no training that we currently perform outside, except for live firearms training. Firearms training is always performed on a qualified and licensed range. I cannot picture any type of training that would occur outside and certainly none that would create noise pollution.

With the previous site there was some discussion regarding the use of emergency lights and sirens by deputies or other law enforcement leaving the facility. On the previous site it was less likely to have a need to immediately activate that equipment as it relates to disturbance of the residential setting. The proposed site would be different in that methodology. First and foremost, the residential setting is much farther from the facility. Secondly the area in which the site will be placed is commonly used by law enforcement coming and going from the Michigan State Police Post and the Isabella County Central Dispatch. Those in this area have or are already accustomed to those types of emergency response modes.

The frequency of times that a deputy would need to activate their emergency equipment remains the same, which is somewhat less frequent than one would imagine. However, the difference with this site would be that those law enforcement officers responding to critical calls would be required to use them sooner than the previous site. This is due to the proximity from the exit driveways onto the adjoining roadways, which are more heavily traveled trunk lines.

Additionally, a topic that was asked relates to emergency vehicle response. Under public act 300 of 1949 there are certain requirements for emergency vehicles that must be met. These requirements indicate the audible distance of a siren and the visibility of an emergency lights for public safety vehicles. There are also some very restrictive policies that come from our risk management and insurance providers regarding when the emergency equipment must be used. I can say that it is not typical for a law enforcement officer (LEO) to immediately activate those devices when leaving the Sheriff's Office. There are infrequent times that a LEO would be at the office and need to leave for such a call that would require the activation of the emergency equipment. When those occasions occur, the law enforcement officers will utilize the proper level of response at the appropriate time. There is a difference with the new proposed parcel and our current location. The new location is much more rural versus a suburban city environment. The need to immediately activate emergency equipment on those types of calls at our current location occurs because traffic, multiple intersections etc. The mere fact that less intersections and traffic will exist will reduce the immediate need to activate emergency equipment on those occasional calls.

The Isabella County Sheriff's Office has operated at its current locations for over 62 years. We have always tried to be good neighbors to the residential, commercial and schools that are all within a block or so of our current location. That methodology will certainly carrier over to the new location and we will always strive to be a good neighbor at the new site. I am certainly cognitive of the concerns from current residents and will communicate those to my staff and others who would be utilizing the facility.

Isabella County Sheriff



Michael J. Main

Preliminary Site Plan Approval and Special Use Permit

May 11 2021

IA Project: 20190905

Isabella Sheriff's Office and Correction Facility

Mount Pleasant, MI 48858



Integrated Architecture
840 Ottawa Avenue NW
Grand Rapids, MI 49503
616.574.0220 P
www.iaarch.com



Owner:

Isabella County
200 N. Main St. Suite 205
Mount Pleasant, MI 48858
989.317.4058 P
989.621.7352 C

Architect:

Integrated Architecture
4090 Lake Drive SE
Grand Rapids, MI 49546
616.574.0220 P
616.574.0953 F

Design Architect:

Venture Architects
212 North 25th Street
Milwaukee, WI 53233
414.271.3359 P

Food Service & Laundry:

Stewart Design
2934 Fish Hatchery Road
Suite 212
Milwaukee WI 53713
608.271.8554 P

Building Height and Area	
Two Floors	
Overall Height	25'-4"
First Floor Jail Area	39,706 NSF
First Floor Administration Area	15,475 NSF
First Floor Receiving/Maint. Area	4,221 NSF
Ground Floor Area	59,406 GSF
Second Floor Jail Area	8,978 NSF
Second Floor Area	16,852 GSF

Construction Manager:

Clark Construction
3535 Moores River Drive
Lansing, MI 48911
517.881.0401 C
517.346.5691 P

Civil Engineer:

Rowe Services
127 S Main St
Mt. Pleasant, MI 48858
989.772.2138 P

Structural Engineer:

JDH Engineering
3000 Ivanrest SW
Suite B
Grandville, MI 49418
616.531.6020 P

Technology & Security:

CommTech Design
6581 Belding Rd
Suite 101
Rockford, MI 49341
616.433.7210 P
616.446.4545 C

Isabella Sheriff's Office
and Correction Facility

Preliminary Site Plan Approval and
Special Use Permit
May 11 2021
IA Project: 20190905



E PICKARD ROAD

E BROADWAY RD

E REMUS RD

S ISABELLA ROAD

127

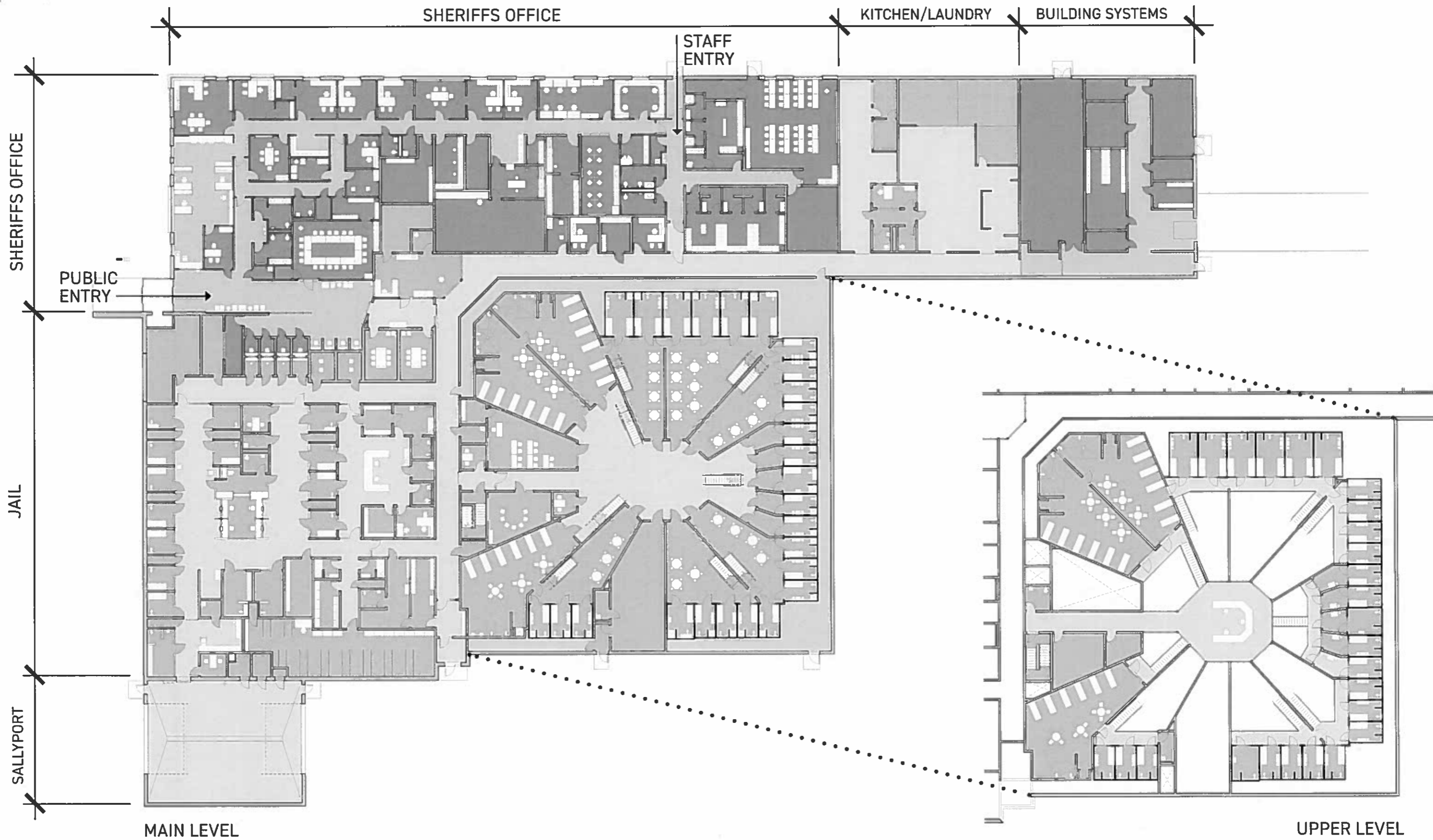
PROJECT SITE



E REMUS RD

S ISABELLA ROAD

127



Facade Material #2
Metal panel
Dark bronze / brown

Facade Material #1
Masonry
Tan / Brown Utility Sized Brick

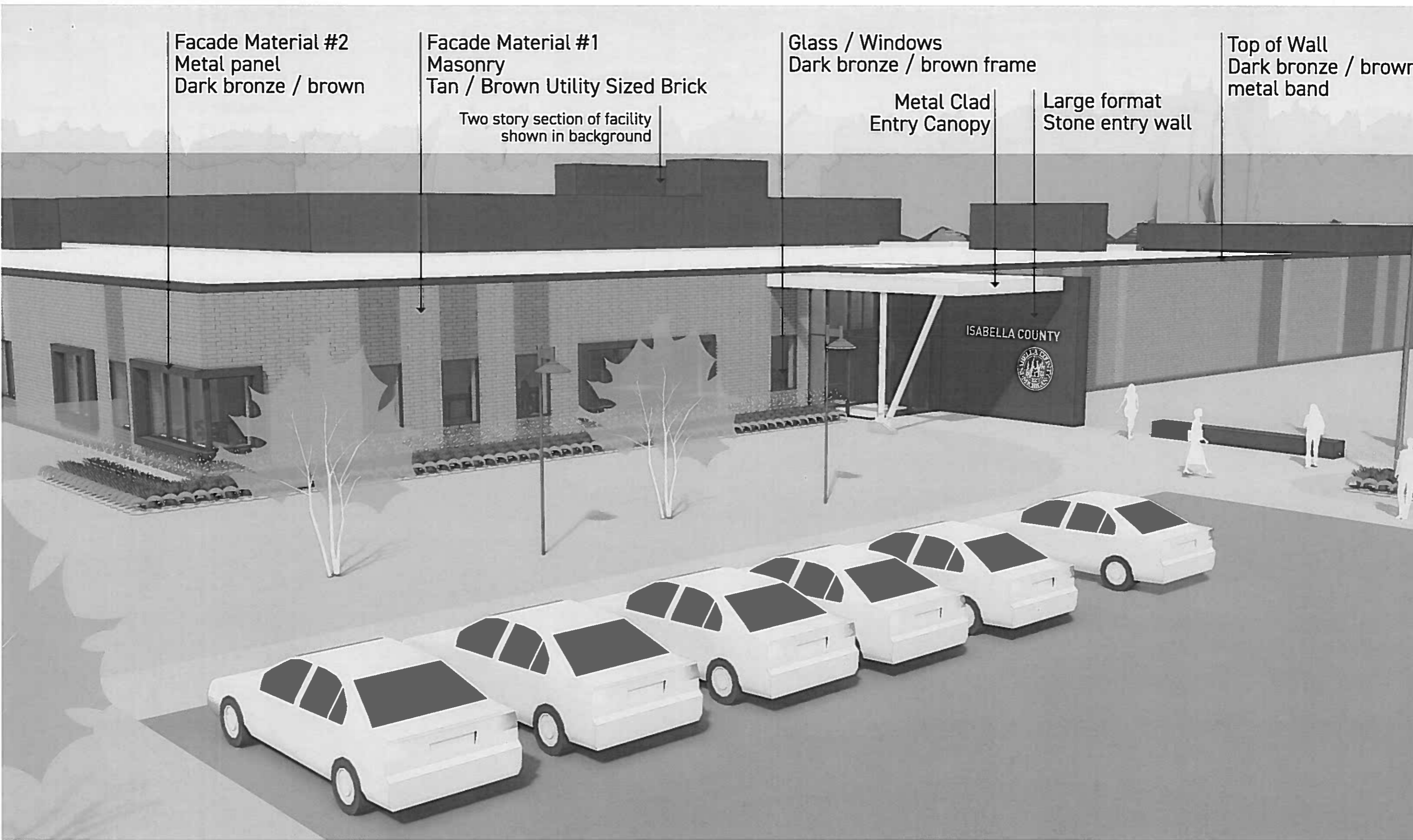
Glass / Windows
Dark bronze / brown frame

Top of Wall
Dark bronze / brown
metal band

Two story section of facility
shown in background

Metal Clad
Entry Canopy

Large format
Stone entry wall



Facade Material #2
Metal panel
Dark bronze / brown

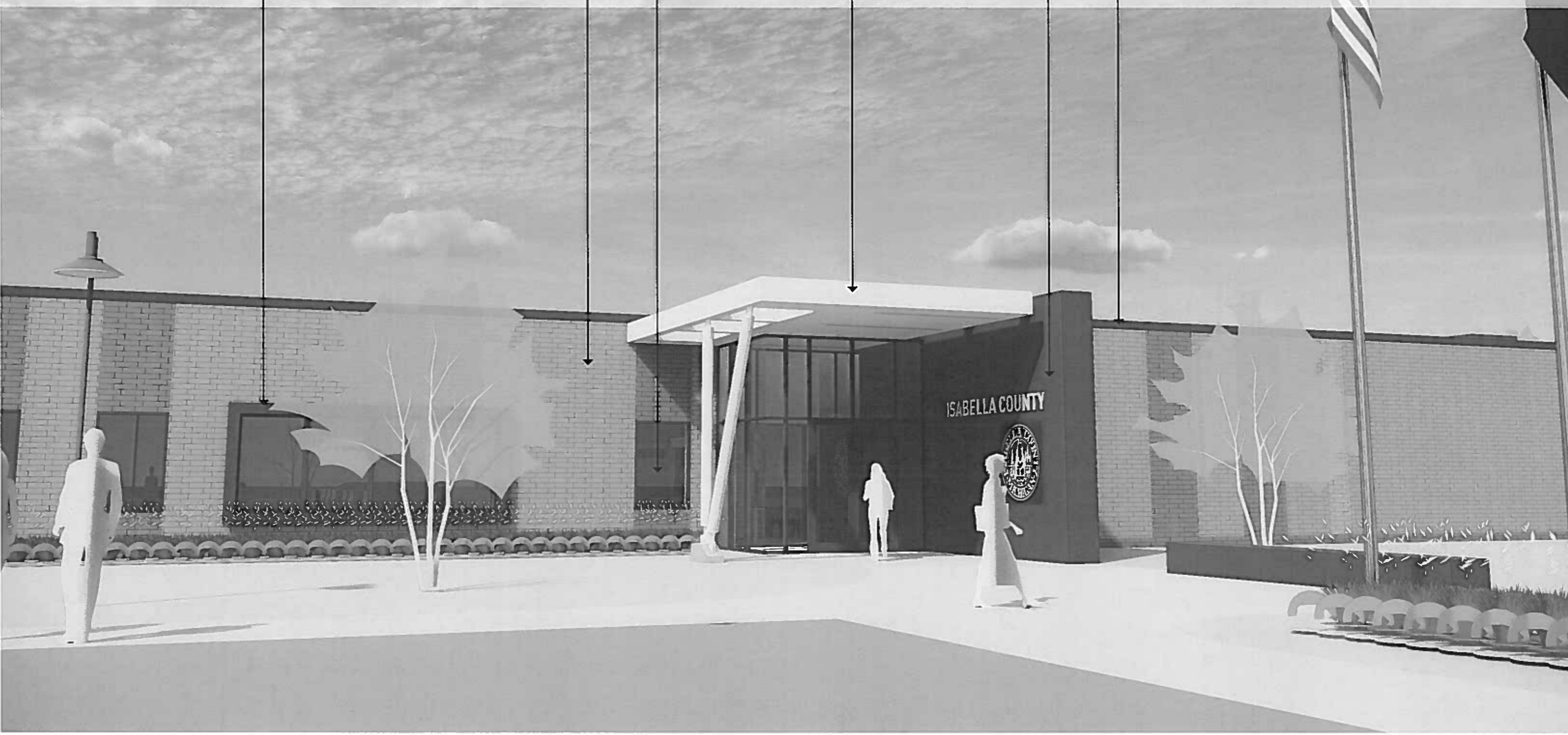
Facade Material #1
Masonry
Tan / Brown
Utility Sized Brick

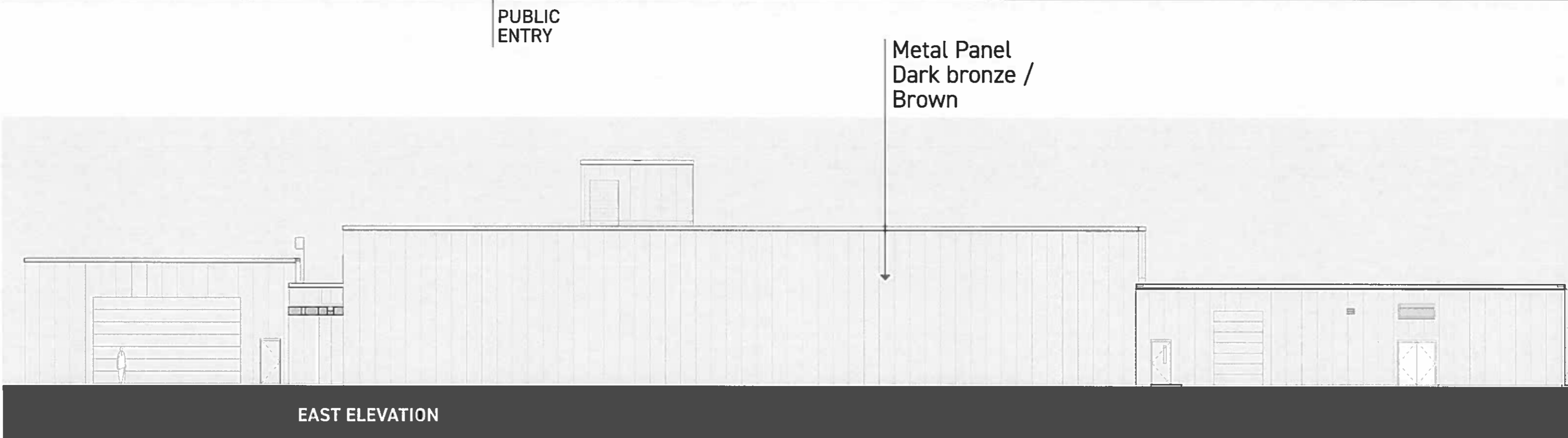
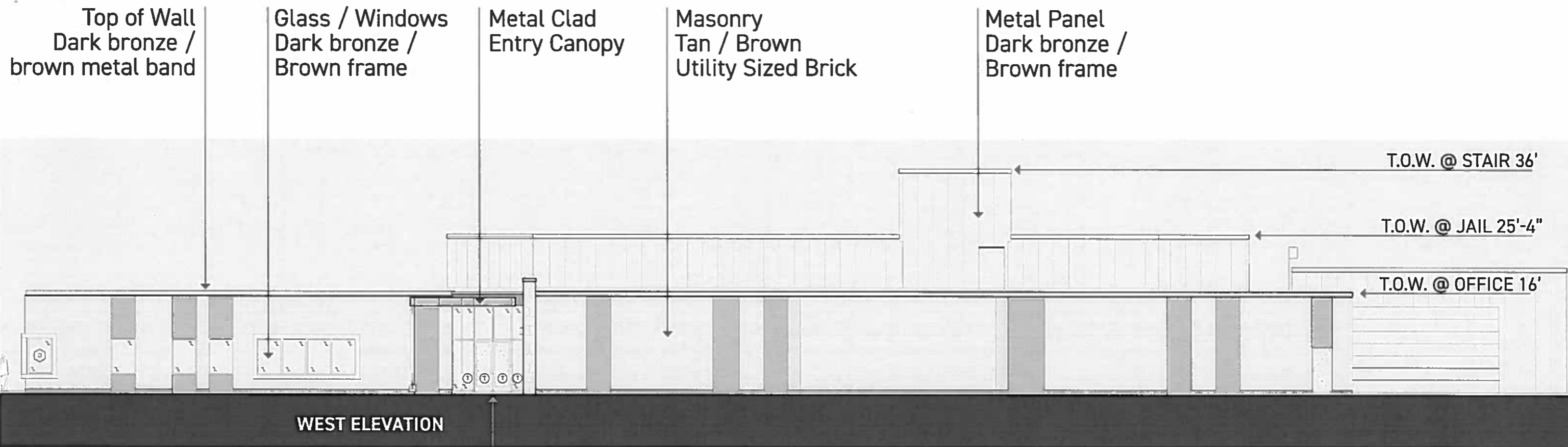
Glass / Windows
Dark bronze / brown frame

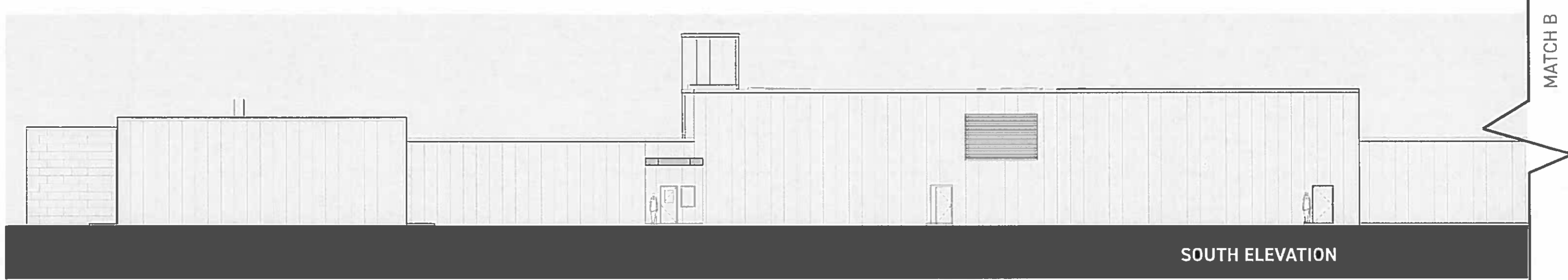
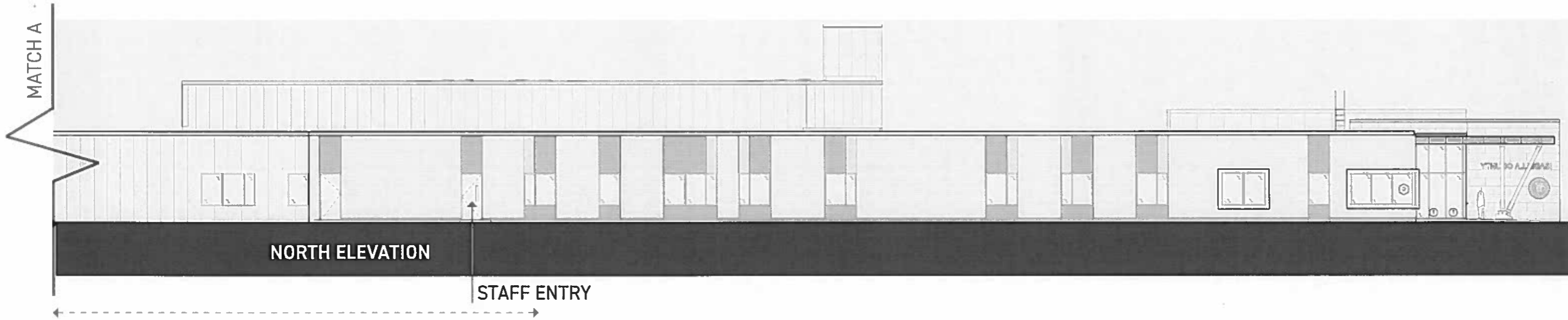
Large format
Stone entry wall

Metal Clad
Entry Canopy

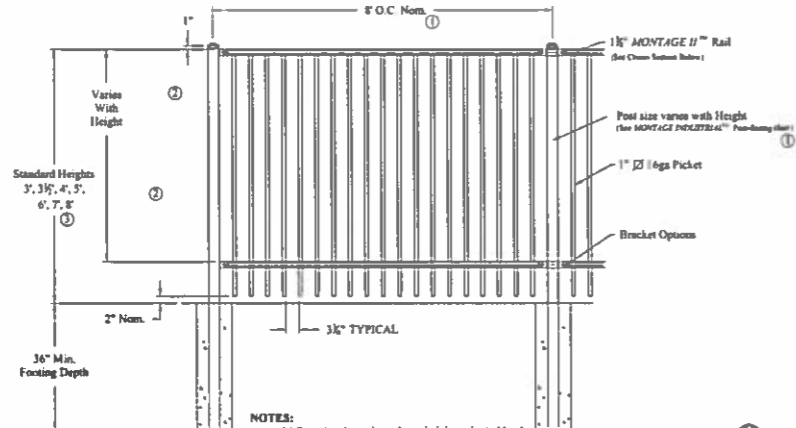
Top of Wall
Dark bronze /
brown metal band



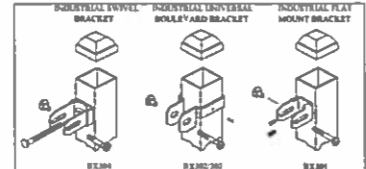
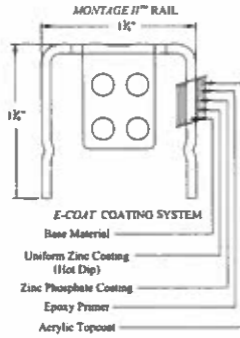
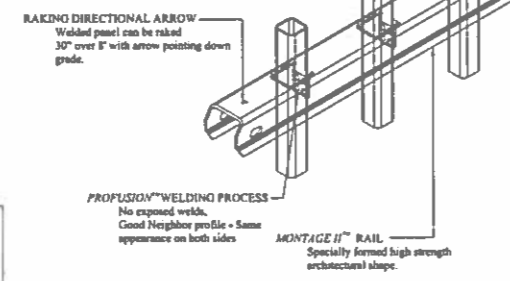




PRELIMINARY NOT FOR CONSTRUCTION

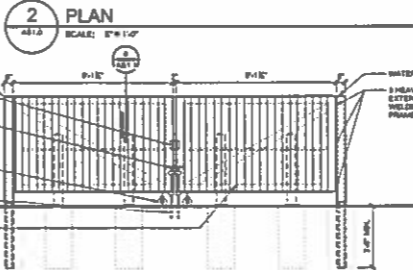
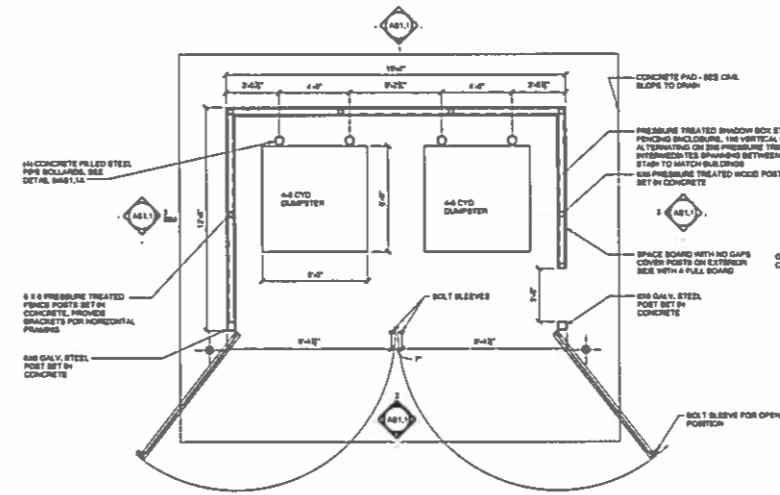


NOTES:
1) Post size depends on fence height and wind loads. See MONTAGE INDUSTRIAL™ specifications for post sizing chart and dimensions.
2) Third & Fourth rail optional.
3) Available in Flush Bottom.

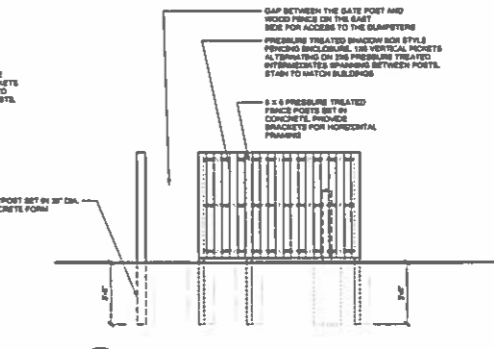


Values shown are nominal and not to be used for installation requirements. See product specification for installation requirements.

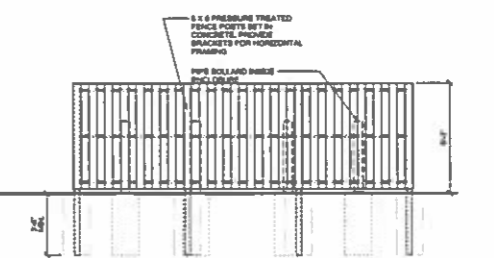
1 PERIMETER FENCING AT EMPLOYEE PARKING AREA
AS1.0 NOT TO SCALE



2 PLAN
AS1.0 SCALE: 1/4" = 1'-0"



4 ELEVATION
AS1.0 SCALE: 1/4" = 1'-0"



5 ELEVATION
AS1.0 SCALE: 1/4" = 1'-0"

DATE	11 May 2021
Design	KAB
PA / PA	DD / EK
Drawn	KAB
Project Number	20190805

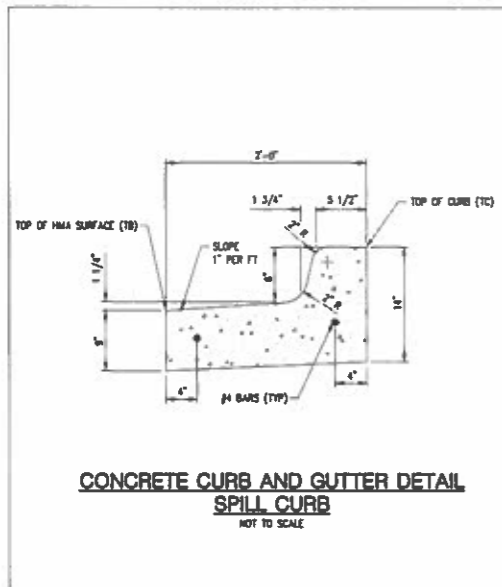
ARCHITECTURAL
SITE PLAN

<p>STRUCTURE SYMBOLS</p> <ul style="list-style-type: none">EXISTING CATCH BASIN IN CURB LINEPROPOSED CATCH BASIN IN CURB LINEEXISTING CATCH BASIN IN GREEN SPACEPROPOSED CATCH BASIN IN GREEN SPACEEXISTING STORM MANHOLEPROPOSED STORM MANHOLEPROPOSED CULVERT END SECTIONEXISTING HEADWALLPROPOSED HEADWALLEXISTING GATE VALVE AND BOXEXISTING WATER SHUT OFF (CURB BOX)PROPOSED GATE VALVE AND BOXEXISTING GATE VALVE AND WELLPROPOSED GATE VALVE AND WELLEXISTING SPRINKLER HEADEXISTING WATER WELLEXISTING FIRE HYDRANTPROPOSED FIRE HYDRANTPROPOSED WATER MAIN FITTINGSEXISTING CLEAN OUTEXISTING SANITARY SEWER MANHOLEPROPOSED SANITARY SEWER MANHOLEEXISTING MONITORING WELL	<p>UTILITY SYMBOLS</p> <ul style="list-style-type: none">UTILITY POLEGUY ANCHOR CABLELIGHT POLE / ORNAMENTAL LIGHTPOWER LIGHT POLETELEPHONE MANHOLEUNDERGROUND GAS LINE MARKERGAS RISERGAS VENTGAS VALVERAILROAD SIGNALMETAL LIGHT POLEOUTLETCIRCUIT BREAKER PANELELECTRICAL TRANSFORMER PADELECTRICAL TRANSFORMER RISERELECTRIC METERTELEPHONE PEDESTAL / RISERTRAFFIC SIGNAL ON POLEPHONE BOOTH / PAY PHONE <p>SURVEY SYMBOLS</p> <ul style="list-style-type: none">MONUMENTBENCHMARKTRAVERSE POINTSECTION CORNERFOUND SURVEY MONUMENTATION	<p>PLAN VIEW LINE TYPES</p> <ul style="list-style-type: none">EXISTING STORM SEWEREXISTING CULVERTPROPOSED STORM SEWER LESS THAN 24"PROPOSED STORM SEWER 24" AND GREATEREXISTING SANITARY SEWERPROPOSED SANITARY SEWEREXISTING WATER MAINPROPOSED WATER MAINSECTION LINEEXISTING RIGHT OF WAYPROPOSED RIGHT OF WAYPROPOSED EASEMENTEXISTING CENTER LINE DITCHPROPOSED DITCH CENTERLINEEXISTING CENTER LINE ROADWAYPARCEL LINE / LOT LINEEXISTING OVERHEAD UTILITIESUNDERGROUND ELECTRICAL LINEGAS LINE OR PETROLEUM PIPELINEUNDERGROUND TELEPHONE LINEUNDERGROUND CABLE TV LINEUNDERGROUND FIBER OPTICPROJECT CONTROL LINETREE LINEBRUSH LINEEXISTING FENCEPROPOSED FENCEEXISTING GUARD RAILPROPOSED SLOPE STAKE LINEPROPOSED SILT FENCE	<p>PAVEMENT IDENTIFICATION</p> <ul style="list-style-type: none">EXISTING CURB AND GUTTERPROPOSED FLOW CURB AND GUTTERPROPOSED SPILL CURB AND GUTTERPROPOSED LOW BACK/DUB DOWN CURB AND GUTTER <p>HATCHING LEGEND</p> <ul style="list-style-type: none">PROPOSED CONCRETE PAVEMENTPROPOSED CONCRETE SIDEWALKPROPOSED RAISED EDGE CONCRETE SIDEWALKPROPOSED STANDARD DUTY HMA PAVEMENTPROPOSED HEAVY DUTY HMA PAVEMENTPROPOSED HMA APPROACHPROPOSED DETECTABLE WARNING SURFACE																																
<p>EXISTING TOPOGRAPHICAL SYMBOLS</p> <ul style="list-style-type: none">SIGNSTREET SIGNEND OF PIPESWAMP OR WETLANDDECIDUOUS TREECONIFEROUS TREETREE STUMPMAIL BOXSOIL BORINGROCKMETAL POSTBUMPER BLOCK	<p>MISCELLANEOUS SYMBOLS</p> <ul style="list-style-type: none">EXISTING STORM SEWER STRUCTURE NUMBEREXISTING SANITARY SEWER STRUCTURE NUMBERPROPOSED STORM SEWER STRUCTURE NUMBERPROPOSED SANITARY SEWER STRUCTURE NUMBERFLOW DIRECTIONEXISTING RIP-RAPPROPOSED RIP-RAP <p>CAUTION SYMBOLS</p> <ul style="list-style-type: none">USED WITH UNDERGROUND GAS & ELECTRICAL LINESUSED WITH FIBER OPTICS LINES	<p>TOPOGRAPHY</p> <ul style="list-style-type: none">EXISTING CONTOURS MAJOREXISTING CONTOURS MINORPROPOSED CONTOUR MAJORPROPOSED CONTOURS MINOR <p>PARCEL INFORMATION</p> <ul style="list-style-type: none">PARCEL/TAX IDENTIFICATION NUMBERADDRESS/BUSINESS NAME	<p>PROPOSED CALLOUTS</p> <table border="1"><thead><tr><th>TOPO CALLOUTS</th><th>PLAN VIEW</th></tr></thead><tbody><tr><td>ADU</td><td>ADU</td></tr><tr><td>ADU-1</td><td>ADU-1</td></tr><tr><td>ADU-B/O</td><td>ADU-B/O</td></tr><tr><td>REC</td><td>REC</td></tr><tr><td>REL</td><td>REL</td></tr><tr><td>REL-B/O</td><td>REL-B/O</td></tr><tr><td>R</td><td>R</td></tr><tr><td>R&R</td><td>R&R</td></tr><tr><td>SALV</td><td>SALV</td></tr><tr><td>S</td><td>S</td></tr><tr><td>A</td><td>A</td></tr><tr><td>C</td><td>C</td></tr><tr><td>B</td><td>B</td></tr><tr><td>SR-F</td><td>SR-F</td></tr><tr><td>6</td><td>6</td></tr></tbody></table> <ul style="list-style-type: none">ADJUST STRUCTUREADJUST STRUCTURE W/ NEW COVERADJUST STRUCTURE BY OTHERSRECONSTRUCT STRUCTURERELOCATERELOCATE BY OTHERSREMOVEREMOVE AND REPLACESALVAGESAVEABANDONCLEARINGBULKHEADSIDEWALK RAMP TYPESOIL EROSION CONTROL MEASURE	TOPO CALLOUTS	PLAN VIEW	ADU	ADU	ADU-1	ADU-1	ADU-B/O	ADU-B/O	REC	REC	REL	REL	REL-B/O	REL-B/O	R	R	R&R	R&R	SALV	SALV	S	S	A	A	C	C	B	B	SR-F	SR-F	6	6
TOPO CALLOUTS	PLAN VIEW																																		
ADU	ADU																																		
ADU-1	ADU-1																																		
ADU-B/O	ADU-B/O																																		
REC	REC																																		
REL	REL																																		
REL-B/O	REL-B/O																																		
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R&R	R&R																																		
SALV	SALV																																		
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B	B																																		
SR-F	SR-F																																		
6	6																																		

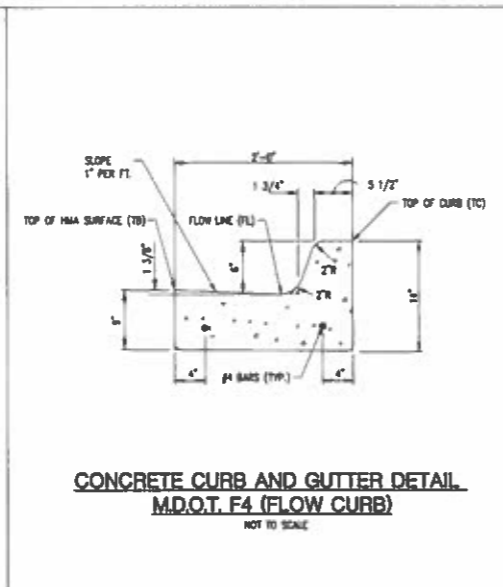
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Drawn	TRG
Date	5/11/21
Sheet Number	04-0003

CIVIL LEGEND

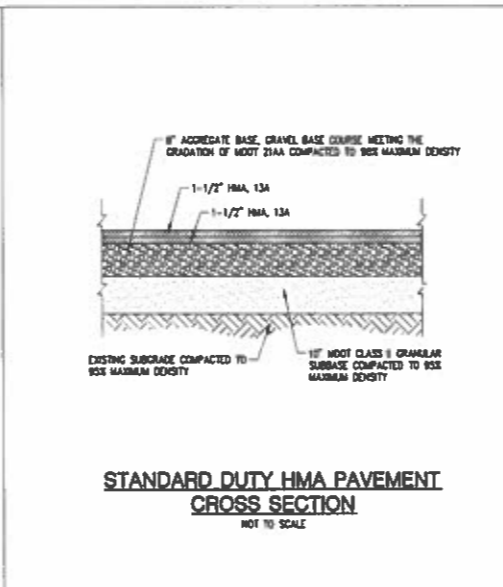




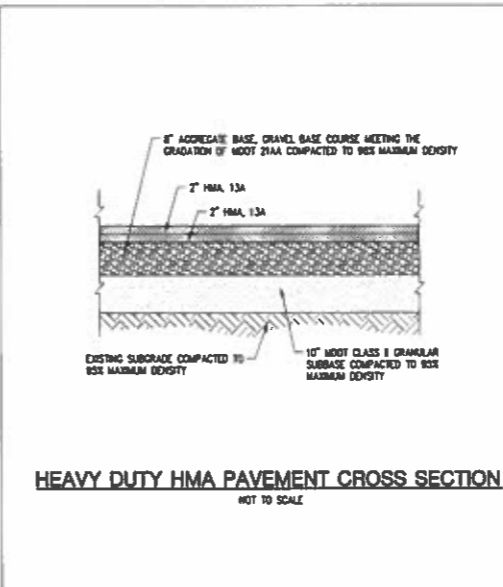
**CONCRETE CURB AND GUTTER DETAIL
SPILL CURB**
NOT TO SCALE



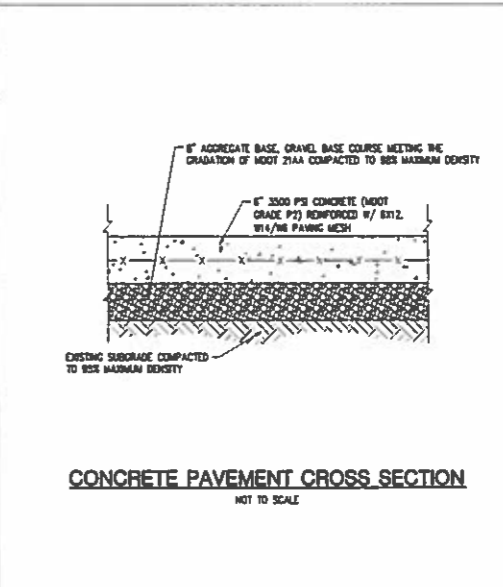
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M.D.O.T. F4 (FLOW CURB)**
NOT TO SCALE



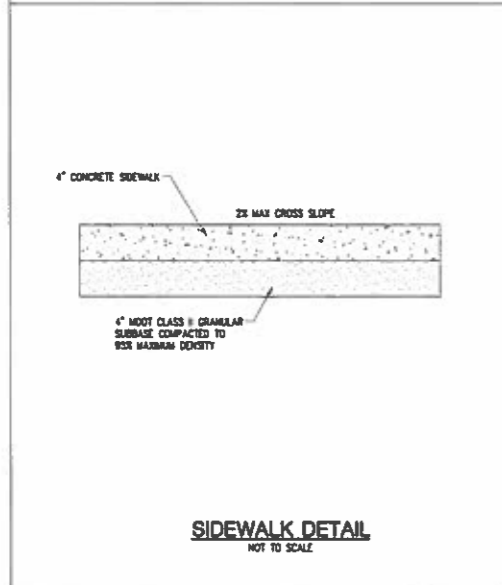
**STANDARD DUTY HMA PAVEMENT
CROSS SECTION**
NOT TO SCALE



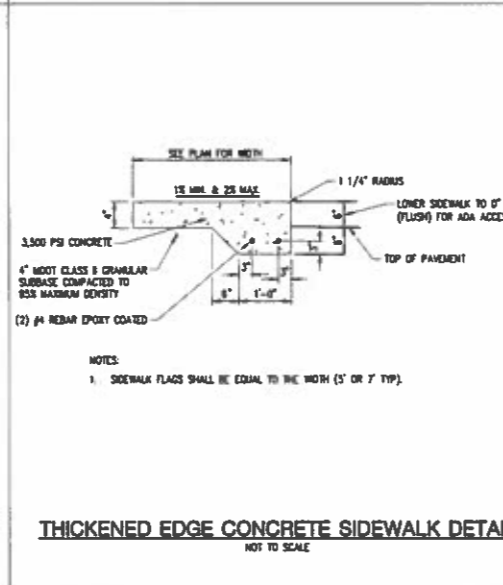
HEAVY DUTY HMA PAVEMENT CROSS SECTION
NOT TO SCALE



CONCRETE PAVEMENT CROSS SECTION
NOT TO SCALE



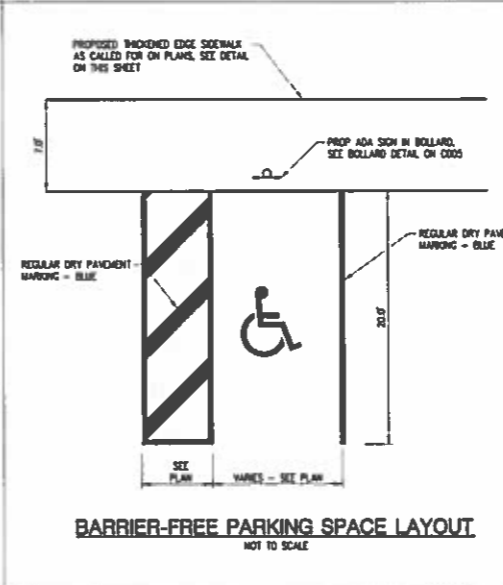
SIDEWALK DETAIL
NOT TO SCALE



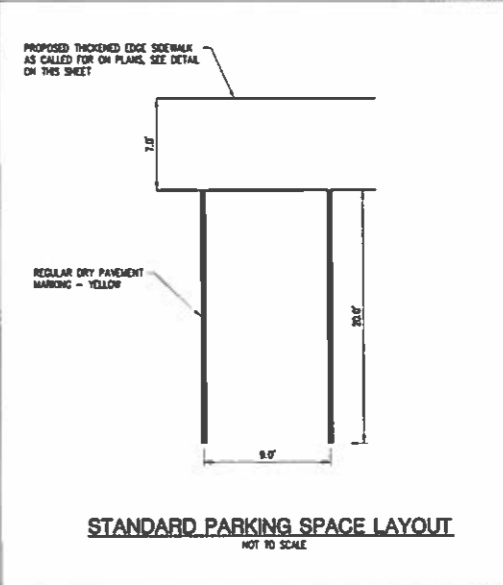
THICKENED EDGE CONCRETE SIDEWALK DETAIL
NOT TO SCALE



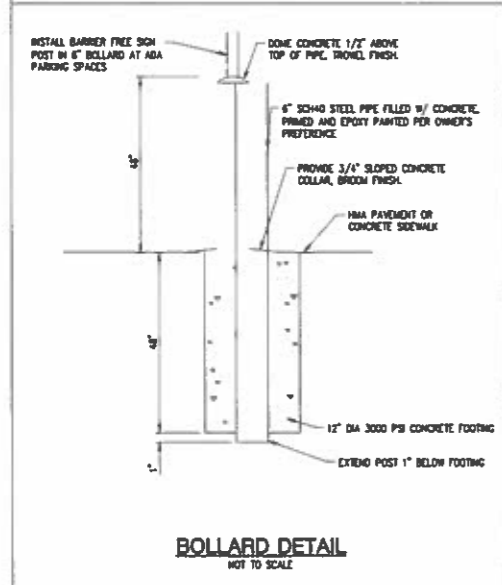
BARRIER FREE PARKING SIGNAGE
NOT TO SCALE



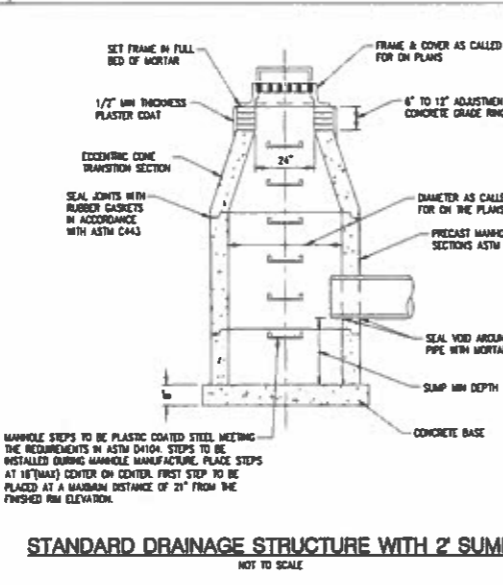
BARRIER-FREE PARKING SPACE LAYOUT
NOT TO SCALE



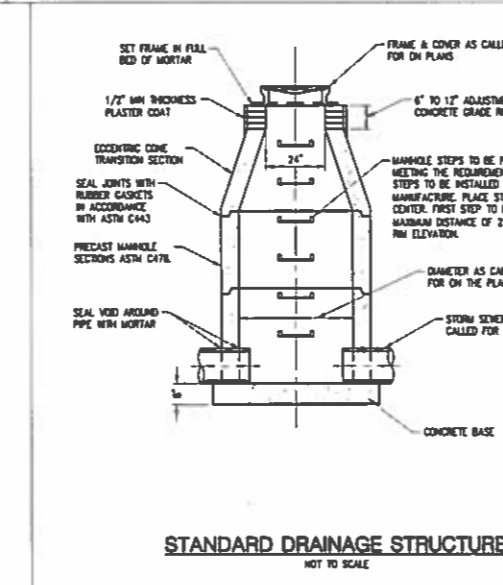
STANDARD PARKING SPACE LAYOUT
NOT TO SCALE



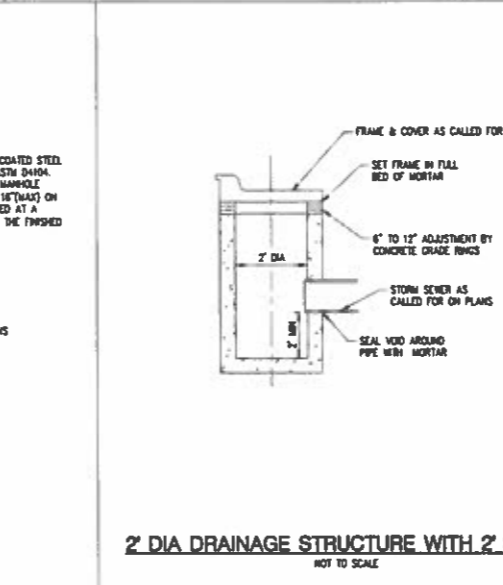
BOLLARD DETAIL
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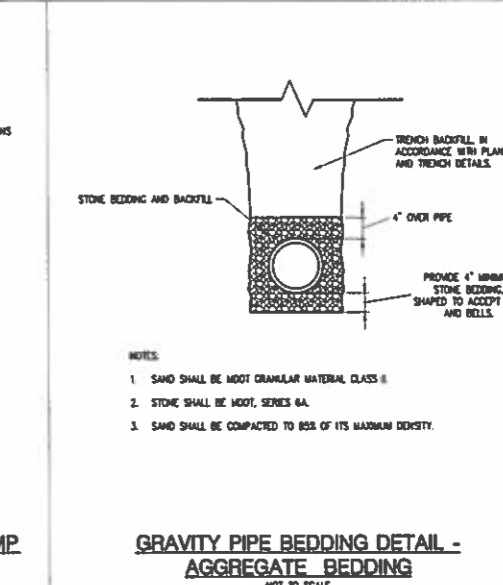
STANDARD DRAINAGE STRUCTURE WITH 2' SUMP
NOT TO SCALE



STANDARD DRAINAGE STRUCTURE
NOT TO SCALE



2' DIA DRAINAGE STRUCTURE WITH 2' SUMP
NOT TO SCALE



**GRAVITY PIPE BEDDING DETAIL -
AGGREGATE BEDDING**
NOT TO SCALE



Integrated Architecture
4780 Lake Drive SE
Grand Rapids, MI 49546
616.574.0020 P
616.574.0953 F
www.intarch.com

ROME PROFESSIONAL
SERVICES COMPANY

Ventura Architects
11100 CENTER STREET
ANN ARBOR, MI 48106
www.venturaarch.com

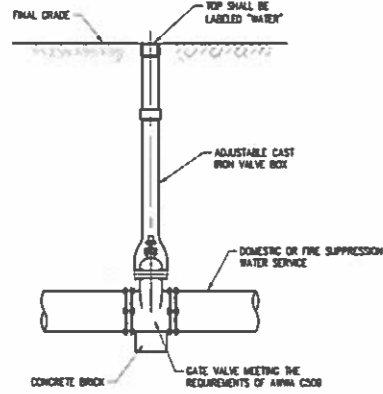
ISABELLA COUNTY
ISABELLA SHERIFF'S OFFICE AND CORRECTION FACILITY

Author	TRG
Checker	TRG
Date	5/11/21

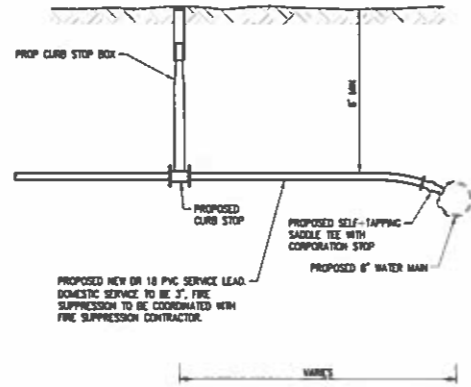
CIVIL DETAILS



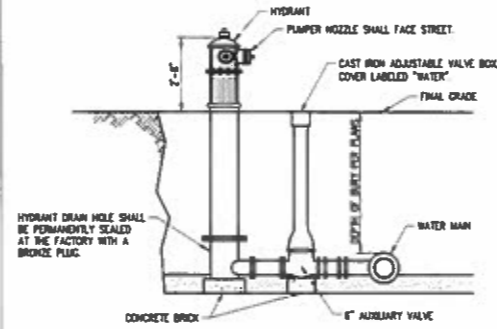
C102



WATER VALVE AND BOX DETAIL
NOT TO SCALE



DOMESTIC WATER SERVICE DETAIL
NOT TO SCALE



FIRE HYDRANT DETAIL
NOT TO SCALE

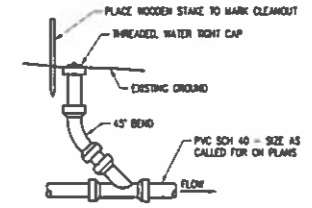
MINIMUM PIPE RESTRAINT SCHEDULE FOR GROUND BURIED PRESSURE PIPES (SEE NOTE 1)

LENGTH (IN FEET) OF RESTRAINT REQUIRED (SEE NOTE 2)

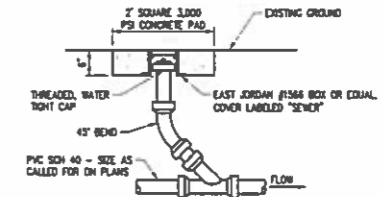
PIPE DIAMETER	DEFLECTION ANGLE							
	22 1/2'	33 3/4'	45'	56 1/4'	67 1/2'	78 3/4'	90'	90' TEE OR DEAD END
6"	3	8	11	16	23	29	37	
8"	4	8	15	22	31	41	50	
10"	5	11	18	28	38	49	61	
12"	8	13	22	33	45	58	73	
14"	7	14	25	37	52	66	84	
16"	8	16	28	42	58	77	95	
18"	8	18	31	47	66	86	107	
20"	8	20	35	53	73	95	118	
24"	11	23	40	61	85	111	138	
30"	13	29	50	75	100	128	170	
36"	15	34	58	88	123	160	199	
42"	17	39	67	101	141	184	238	
48"	18	43	75	113	157	206	255	

- NOTES:
- THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE + WATER HAMMER) FOR OTHER TEST PROCEDURES, ALL VALUES ARE TO BE INCREASED OR DECREASED PROPORTIONALLY.
 - IN EACH DIRECTION FROM POINT OF DEFLECTION OR TERMINATION EXCEPT FOR A TEE AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE TEE STAYS.
 - IF TEES ARE USED, PLACE 2 REINFORCING BARS 1/2" DIAMETER MINIMUM FOR WATER MAIN 8" TO 10" AND 4 REINFORCING BARS 5/8" DIAMETER MINIMUM FOR 12" AND LARGER.

PIPE RESTRAINT SCHEDULE
NOT TO SCALE



FOR GRASS AREAS

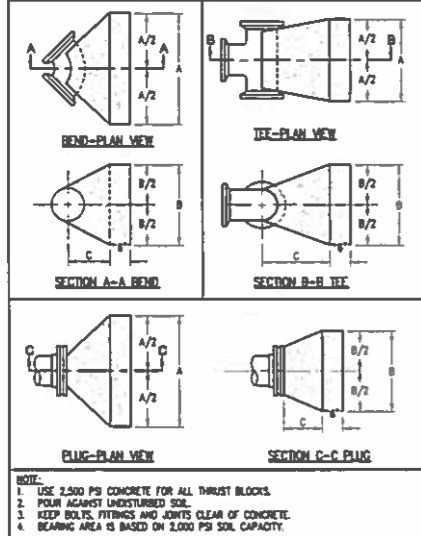


FOR PAVEMENT AREAS

CLEANOUT RISER DETAIL
NOT TO SCALE

DIA. OF PIPE OR BRANCH OF TEE	90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND		PLUGS, HYDRANTS AND TEE
	A	B	A	B	A	B	A	B	
6"	2'-0"	2'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
8"	3'-0"	3'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
10"	4'-0"	3'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
12"	4'-0"	3'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
16"	6'-0"	4'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"
24"	6'-0"	4'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"	1'-0"

TABLE INDICATES MINIMUM BEARING



THRUST BLOCK DETAILS
NOT TO SCALE



Integrated Architecture
4090 Lake Drive SE
Grand Rapids, MI 49546
616.574.0220 P
616.574.0953 F
www.iastruct.com

ROWE PROFESSIONAL SERVICES COMPANY

Venture Architects
12100 28th Street
Grand Rapids, MI 49508
616.574.0220 P
616.574.0953 F
www.iastruct.com

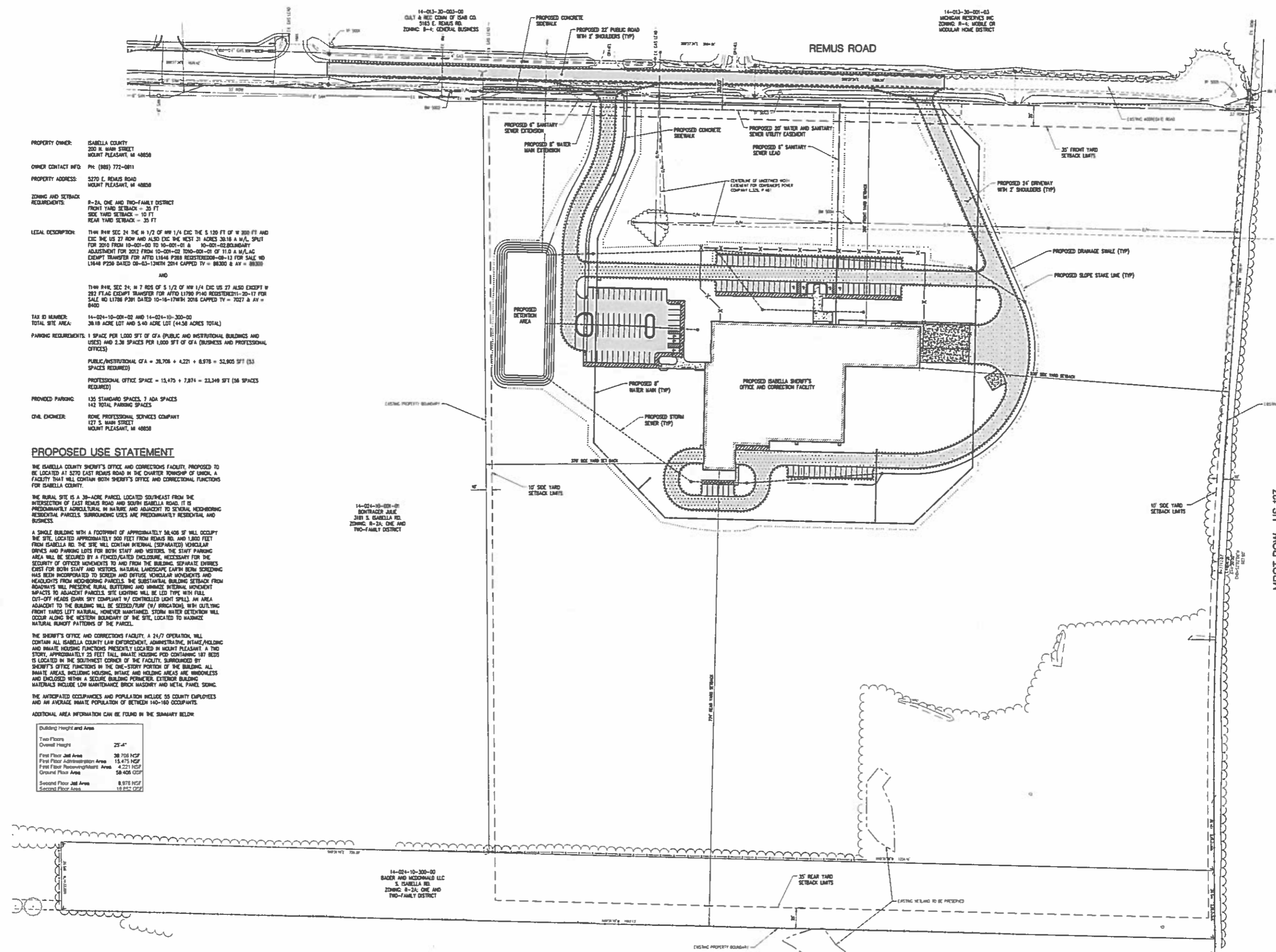
ISABELLA COUNTY
ISABELLA SHERIFF'S OFFICE AND CORRECTION FACILITY

1/2" = 1' SH

Design: TAK
Prep: TRG
Date: 5/11/21
Project Number: 20190905

OVERALL SITE PLAN

C200



PROPERTY OWNER: ISABELLA COUNTY
200 N. MAIN STREET
MOUNT PLEASANT, MI 48858

OWNER CONTACT INFO: PH: (800) 772-0811

PROPERTY ADDRESS: 5270 E. REMUS ROAD
MOUNT PLEASANT, MI 48858

ZONING AND SETBACK REQUIREMENTS:
R-2A, ONE AND TWO-FAMILY DISTRICT
FRONT YARD SETBACK - 35 FT
SIDE YARD SETBACK - 10 FT
REAR YARD SETBACK - 35 FT

LEGAL DESCRIPTION:
T14W R4E SEC 24 THE N 1/2 OF NW 1/4 DIC THE S 120 FT OF W 300 FT AND DIC THE US 27 ROW AND ALSO DIC THE WEST 31 ACRES 38.18 A M/L SPLIT FOR 2010 FROM 10-001-00 TO 10-001-01 & 10-001-02 BOUNDARY ADJUSTMENT FOR 2012 FROM 10-001-02 TO 10-001-01 OF 31.0 A M/L AC DEEDY TRANSFER FOR ATTD 11846 P288 REGISTERED-08-11 FOR SALE NO 11846 P288 DATED 08-03-13 WITH 2014 CAPPED TV = 86300 & AV = 88800 AND
T14W R4E SEC 24, N 7 ROS OF S 1/2 OF NW 1/4 DIC US 27 ALSO EXCEPT W 282 FT AC EXEMPT TRANSFER FOR ATTD 11780 P140 REGISTERED-11-20-17 FOR SALE NO 11780 P391 DATED 10-16-17 WITH 2016 CAPPED TV = 7027 & AV = 8400

TAX ID NUMBER: 14-024-10-001-02 AND 14-024-10-300-00
TOTAL SITE AREA: 38.18 ACRE LOT AND 5.40 ACRE LOT (43.58 ACRES TOTAL)

PARKING REQUIREMENTS: 1 SPACE PER 1,000 SFT OF GFA (PUBLIC AND INSTITUTIONAL BUILDINGS AND USES) AND 2.36 SPACES PER 1,000 SFT OF GFA (BUSINESS AND PROFESSIONAL OFFICES)
PUBLIC/INSTITUTIONAL GFA = 38,708 + 4,221 + 8,978 = 52,907 SFT (53 SPACES REQUIRED)
PROFESSIONAL OFFICE SPACE = 15,475 + 7,874 = 23,349 SFT (26 SPACES REQUIRED)

PROVIDED PARKING: 136 STANDARD SPACES, 3 ADA SPACES
142 TOTAL PARKING SPACES

CIVIL ENGINEER: ROWE PROFESSIONAL SERVICES COMPANY
127 S. MAIN STREET
MOUNT PLEASANT, MI 48858

PROPOSED USE STATEMENT

THE ISABELLA COUNTY SHERIFF'S OFFICE AND CORRECTIONS FACILITY, PROPOSED TO BE LOCATED AT 5270 EAST REMUS ROAD IN THE CHARTER TOWNSHIP OF UNION, A FACILITY THAT WILL CONTAIN BOTH SHERIFF'S OFFICE AND CORRECTIONAL FUNCTIONS FOR ISABELLA COUNTY.

THE RURAL SITE IS A 39-ACRE PARCEL LOCATED SOUTHEAST FROM THE INTERSECTION OF EAST REMUS ROAD AND SOUTH ISABELLA ROAD. IT IS PREDOMINANTLY AGRICULTURAL IN NATURE AND ADJACENT TO SEVERAL NEIGHBORING RESIDENTIAL PARCELS. SURROUNDING USES ARE PREDOMINANTLY RESIDENTIAL AND BUSINESS.

A SINGLE BUILDING WITH A FOOTPRINT OF APPROXIMATELY 58,408 SF WILL OCCUPY THE SITE, LOCATED APPROXIMATELY 500 FEET FROM REMUS RD. AND 1,800 FEET FROM ISABELLA RD. THE SITE WILL CONTAIN INTERNAL (SEPARATED) VEHICULAR DRIVES AND PARKING LOTS FOR BOTH STAFF AND VISITORS. THE STAFF PARKING AREA WILL BE SECURED BY A FENCED/RAILED ENCLOSURE, NECESSARY FOR THE SECURITY OF OFFICER MOMENTS TO AND FROM THE BUILDING. SEPARATE ENTRANCES EXIST FOR BOTH STAFF AND VISITORS. NATURAL LANDSCAPE WITH BERRY SCREENING HAS BEEN INCORPORATED TO SCREEN AND DIFFUSE VEHICULAR MOVEMENTS AND HEADLIGHTS FROM NEIGHBORING PARCELS. THE SUBSTANTIAL BUILDING SETBACK FROM ROADWAYS WILL PRESERVE RURAL BUTTERING AND MINIMIZE INTERNAL MOVEMENT IMPACTS TO ADJACENT PARCELS. SITE LIGHTING WILL BE LED TYPE WITH FULL CUT-OFF HEADS (DARK SKY COMPLIANT W/ CONTROLLED LIGHT SPILL). AN AREA ADJACENT TO THE BUILDING WILL BE SEEDING/TURF (BY BIRCHWOOD), WITH OUTLIVING FRONT YARD LITT NATURAL, WOODEN MAINTENANCE. STORM WATER EXTERIOR WILL OCCUR ALONG THE WESTERN BOUNDARY OF THE SITE, LOCATED TO MAINTAIN NATURAL RUNOFF PATTERNS OF THE PARCEL.

THE SHERIFF'S OFFICE AND CORRECTIONS FACILITY, A 24/7 OPERATION, WILL CONTAIN ALL ISABELLA COUNTY LAW ENFORCEMENT, ADMINISTRATIVE, INTAKE/HOLDING AND INMATE HOLDING FUNCTIONS PRESENTLY LOCATED IN MOUNT PLEASANT. A TWO STORY, APPROXIMATELY 20 FEET TALL, INMATE HOLDING FLD CONTAINING 187 BEDS IS LOCATED IN THE SOUTHWEST CORNER OF THE FACILITY, SURROUNDED BY SHERIFF'S OFFICE FUNCTIONS IN THE ONE-STORY PORTION OF THE BUILDING. ALL INMATE AREAS, INCLUDING HOLDING, INTAKE AND HOLDING AREAS ARE WOODLESS AND ENCLOSED WITHIN A SECURE BUILDING PERIMETER. EXTERIOR BUILDING MATERIALS INCLUDE LOW MAINTENANCE BRICK MASONRY AND METAL PANEL SIDING.

THE ANTICIPATED OCCUPANCIES AND POPULATION INCLUDE 55 COUNTY EMPLOYEES AND AN AVERAGE INMATE POPULATION OF BETWEEN 140-180 OCCUPANTS.

ADDITIONAL AREA INFORMATION CAN BE FOUND IN THE SUMMARY BELOW:

Building Height and Area	
Two Floors	
Overall Height	25'-4"
First Floor Jail Area	38,708 NSF
First Floor Administration Area	15,475 NSF
First Floor Parking/Inmate Area	4,221 NSF
Overall First Area	58,408 NSF
Second Floor Jail Area	8,978 NSF
Second Floor Area	10,844 NSF



CURB AND GUTTER LEGEND

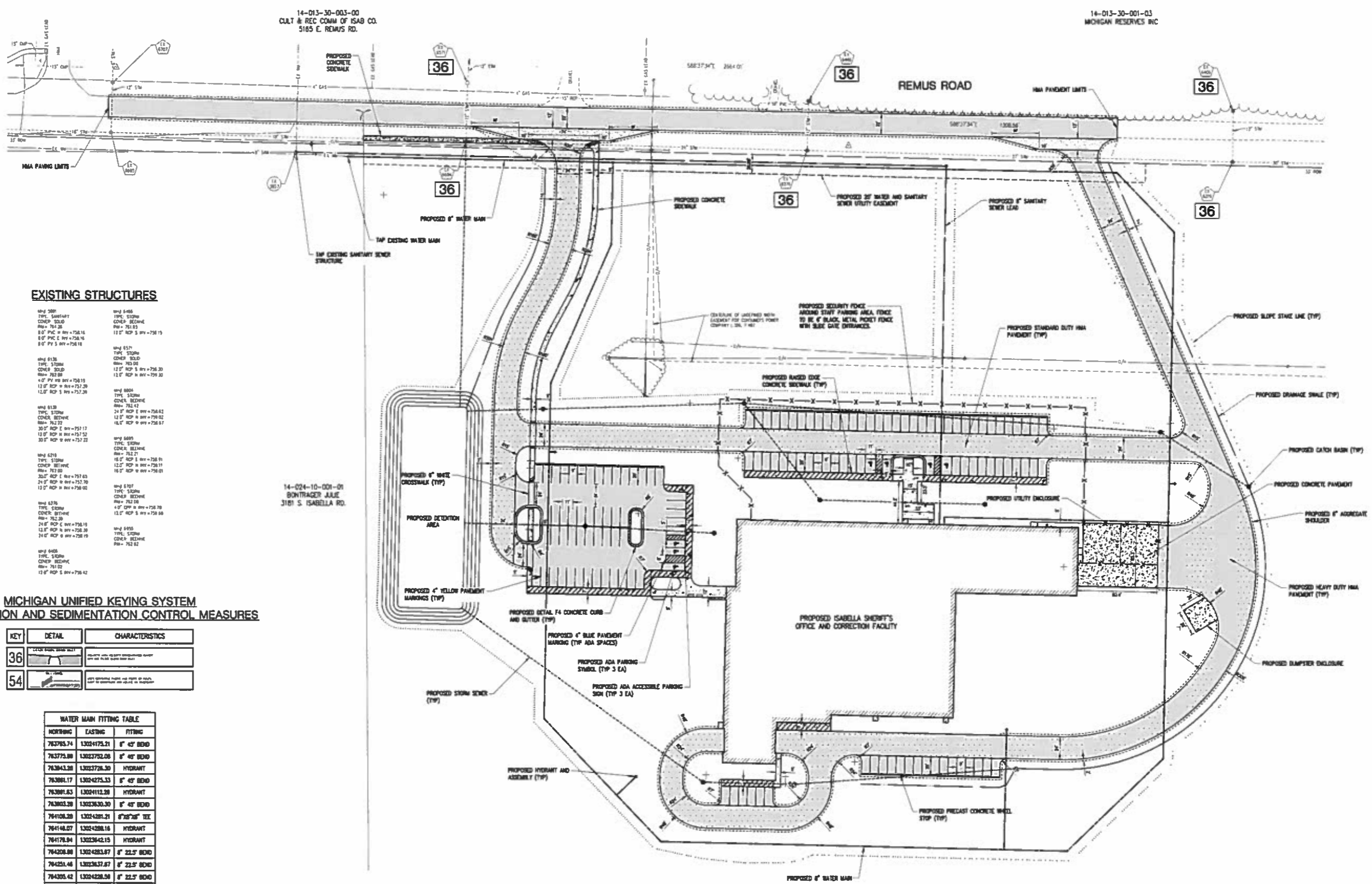
- PROPOSED MOOT F4 CURB AND GUTTER
- PROPOSED SPILL CURB AND GUTTER
- PROPOSED LOW BACK/DOWN CURB AND GUTTER

SIDEWALK LEGEND

- PROPOSED 4" CONCRETE SIDEWALK
- PROPOSED THICKENED EDGE SIDEWALK

HMA PAVEMENT LEGEND

- PROPOSED STANDARD DUTY HMA PAVEMENT
- PROPOSED HEAVY DUTY HMA PAVEMENT
- PROPOSED HMA APPROACH



EXISTING STRUCTURES

- 500
TYPE: SANITARY
CONCR. BEHIND
R/W = 754.30
8' 0" P.C. R. BY = 754.15
8' 0" P.C. R. BY = 754.16
8' 0" P.V. R. BY = 754.18
- 510
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
4' 0" P.V. R. BY = 754.15
12' 0" ROP R. BY = 752.20
12' 0" ROP S. BY = 752.20
- 515
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
30' 0" ROP E. BY = 752.17
12' 0" ROP R. BY = 752.22
30' 0" ROP S. BY = 752.22
- 518
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
30' 0" ROP E. BY = 752.03
24' 0" ROP R. BY = 752.02
12' 0" ROP S. BY = 752.02
- 519
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
24' 0" ROP E. BY = 756.19
12' 0" ROP R. BY = 756.38
24' 0" ROP S. BY = 756.19
- 520
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.42
- 525
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 528
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 530
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 535
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 540
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 545
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 550
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 555
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 560
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 565
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 570
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 575
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 580
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 585
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 590
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 595
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19
- 600
TYPE: 30" DIA
CONCR. BEHIND
R/W = 752.00
12' 0" ROP S. BY = 756.19

14-024-10-001-01
BONTRAGER JAUJE
3101 S. ISABELLA RD.

**MICHIGAN UNIFIED KEYING SYSTEM
SOIL EROSION AND SEDIMENTATION CONTROL MEASURES**

KEY	DETAIL	CHARACTERISTICS
36		CONCRETE DETENTION WALL CONCRETE DETENTION WALL CONCRETE DETENTION WALL
54		CONCRETE DETENTION WALL CONCRETE DETENTION WALL CONCRETE DETENTION WALL

WATER MAIN FITTING TABLE

NORthing	EASTing	FITTING
783763.74	13024175.21	8" 45' BEND
783773.88	13023752.05	8" 45' BEND
783843.28	13023726.30	HYDRANT
783861.17	13024275.33	8" 45' BEND
783861.63	13024112.28	HYDRANT
783863.28	13023630.30	8" 45' BEND
784108.20	13024281.21	8" 45' 78" TE
784148.07	13024288.16	HYDRANT
784178.94	13023642.15	HYDRANT
784208.88	13024283.67	8" 22.5' BEND
784251.48	13023637.67	8" 22.5' BEND
784305.42	13024288.58	8" 22.5' BEND
784385.88	13023701.14	8" 22.5' BEND
784486.88	13024288.88	8" 80' BEND
784481.11	13023702.84	8" 22.5' 78" TE

ROME PROFESSIONAL SERVICES COMPANY
Venture Architecture
4000 Lake Drive SE
Grand Rapids, MI 49546
616.574.0220 P
616.574.0953 F
www.romepr.com

ISABELLA COUNTY
ISABELLA SHERIFF'S OFFICE AND CORRECTION FACILITY

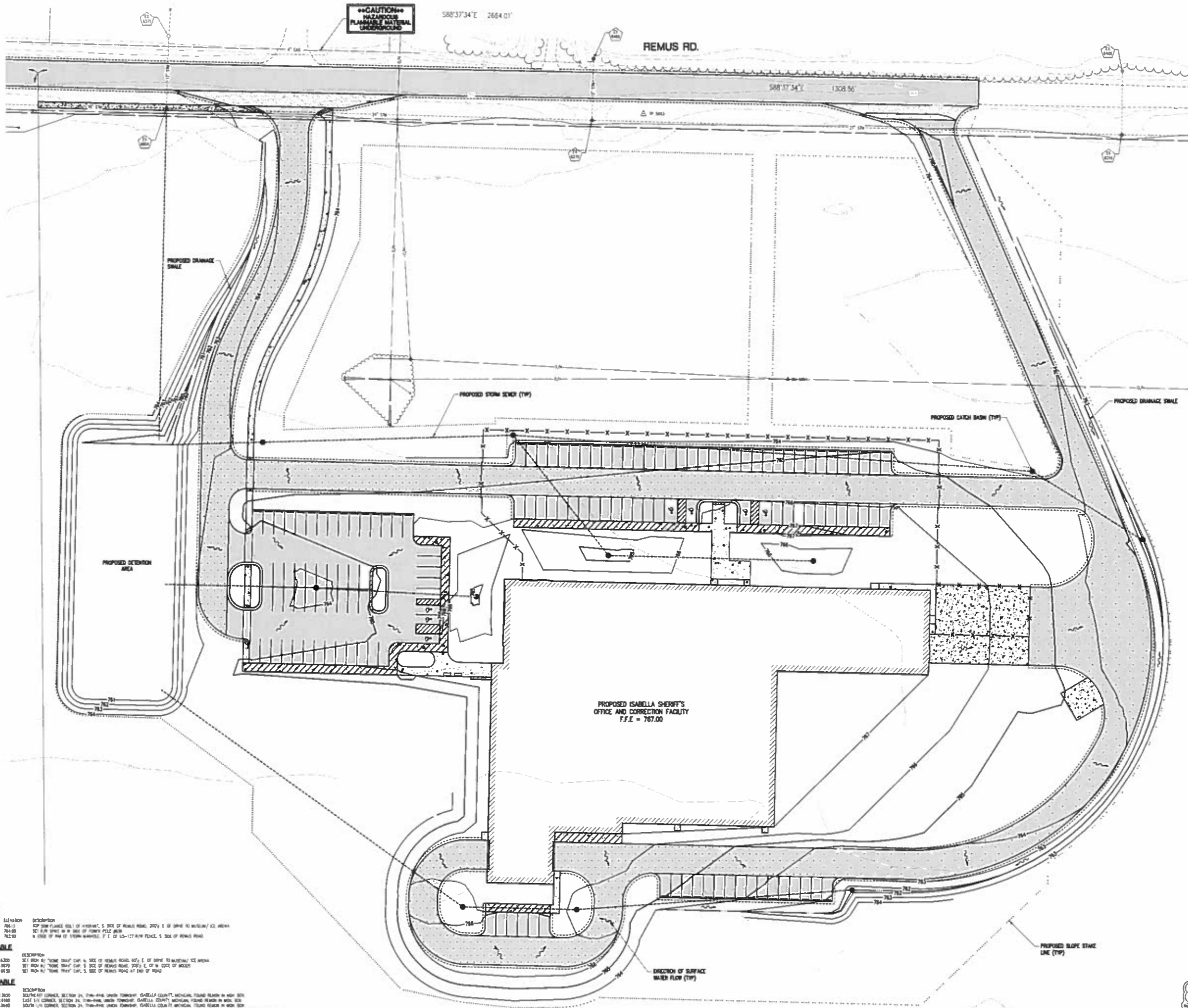
1/1/21 - PPR

Drawn	TAK
PRP/A	TRG
Date	5/11/21
Project Number	20190905

SITE PLAN



C201



CAUTION
HAZARDOUS
FLAMMABLE MATERIAL
UNDERGROUND

REMUS RD.



Integrated Architecture
4700 Lane Drive SE
Grand Rapids, MI 49546
616.574.0220 P
616.574.0503 F
www.iaarch.com

ROME PROFESSIONAL
SERVICES COMPANY



ISABELLA COUNTY
ISABELLA SHERIFF'S OFFICE AND CORRECTION FACILITY
Sheet: 1 of 1

3/27/21 - P28

Drawn	TAR
Plotted	TRG
Date	5/11/21
Project Number	20190905

GRADING PLAN



Know what's below.
Call before you dig.

C202

BENCHMARK DATA TABLE

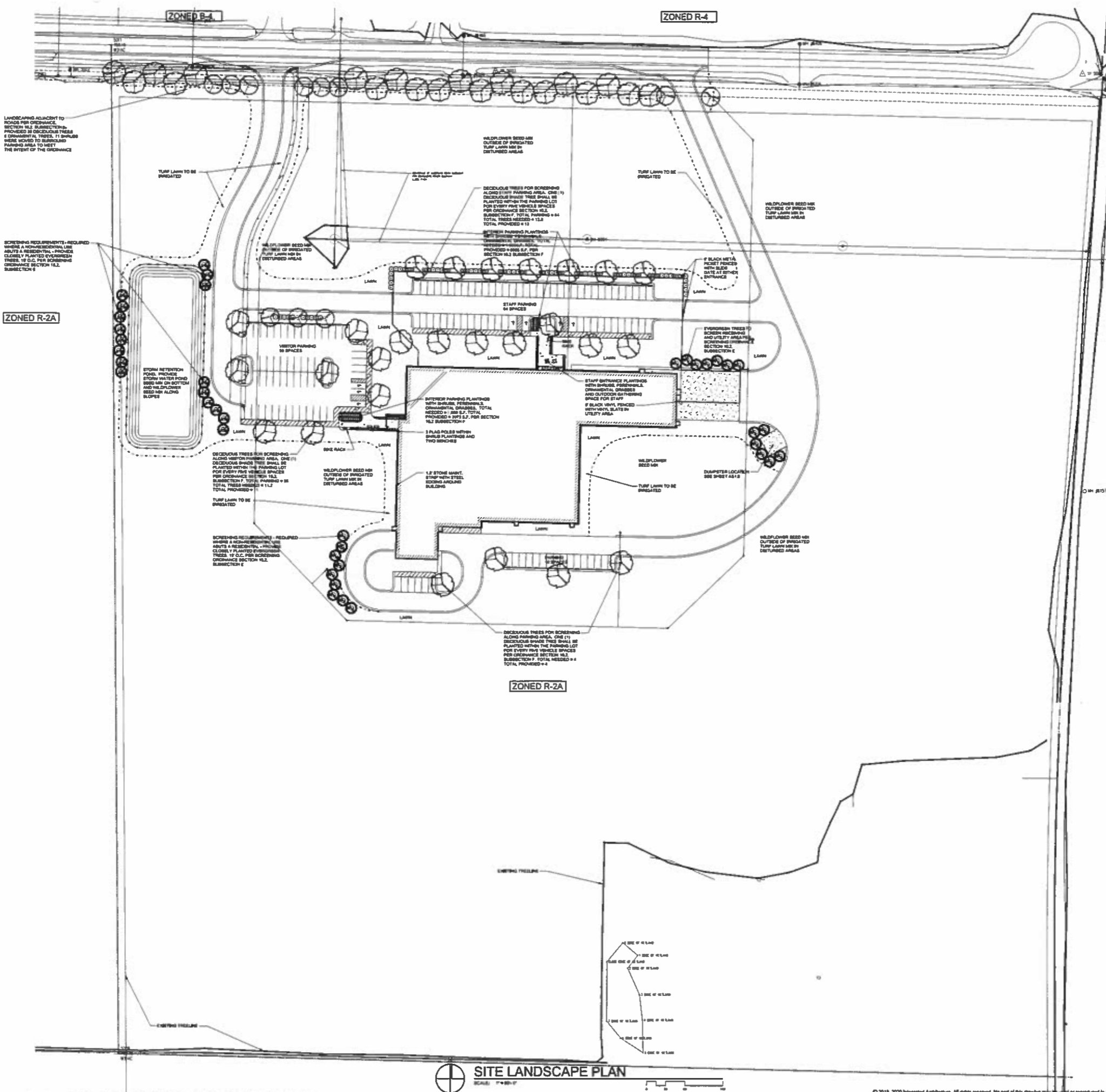
MARKER	POINT NAME	EASTING	NORTHING	DESCRIPTION
BM 5002	764360	1302388	764113	TOP SURV FLANGE BOLL OF HYDRANT, S. SIDE OF REMUS ROAD, 200' E. OF DRIVE TO MAINTENANCE AREA
BM 5004	764377	1302409	764189	SET 8" IR SPIRE IN W. SIDE OF POINT POLE BOLL
BM 5006	764408	1302453	763192	N. SIDE OF END OF STORM MANHOLE, 1/2 C. OF 12"-12" R/W FENCE, S. SIDE OF REMUS ROAD

TRAVERSE POINT DATA TABLE

MARKER	POINT NAME	EASTING	NORTHING	DESCRIPTION
TP 5001	764376.7460	1302396.6380		SET 8" IRCH 8" "TONE TRAP" CAP, N. SIDE OF REMUS ROAD, 80' E. OF DRIVE TO MAINTENANCE AREA
TP 5002	764488.8290	1302398.8870		SET 8" IRCH 8" "TONE TRAP" CAP, S. SIDE OF REMUS ROAD, 200' E. OF W. EDGE OF WOODS
TP 5003	764493.5510	1302322.6820		SET 8" IRCH 8" "TONE TRAP" CAP, S. SIDE OF REMUS ROAD AT END OF ROAD

SECTION CORNER DATA TABLE

MARKER	POINT NAME	EASTING	NORTHING	DESCRIPTION
SCOR 10 85	764328.3790	13027732.8030		SECTION 24 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 86	764328.3790	13027732.8030		EAST 1/4 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 87	764328.3790	13027732.8030		SOUTH 1/4 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 88	764328.3790	13027732.8030		WEST 1/4 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 89	764328.3790	13027732.8030		SOUTHWEST CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 90	764328.3790	13027732.8030		SOUTH 1/4 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 91	764328.3790	13027732.8030		WEST 1/4 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 92	764328.3790	13027732.8030		SOUTHWEST CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 93	764328.3790	13027732.8030		SOUTH 1/4 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 94	764328.3790	13027732.8030		WEST 1/4 CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX
SCOR 10 95	764328.3790	13027732.8030		SOUTHWEST CORNER, SECTION 24, TOWN-SHIP, LAMON TOWNSHIP, ISABELLA COUNTY, MICHIGAN, POLAR BEAR IN HIGH BOX



- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS REQUIRED. ALL CONSTRUCTION SHALL CONFORM TO STATE AND LOCAL STANDARDS AND CODES THAT PERTAIN TO THE SITE UNDER CONSTRUCTION.
- CALL BEFORE DIGGING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION AND VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES.
- CONTRACTOR SHALL PROVIDE HIS OWN LAYOUT, DRAWING, STAKING, AND SURVEYING REQUIRED FOR CONSTRUCTION. REFER TO EXISTING TOPOGRAPHIC SURVEY FOR EXISTING ELEVATIONS. CONTRACTOR SHALL VERIFY LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- LANDSCAPE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER CONTRACTORS ON SITE TO AVOID CHANGE TO COMPLETED WORK.
- IF ANY DISCREPANCY EXISTS BETWEEN THE QUANTITIES, SIZE OR MATERIALS SPECIFIED IN THE PLAN AND SHOWN IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.
- IF THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MEET THE SITE PRICE TO BE SUBMITTAL TO BECOME FAMILIAR WITH EXISTING CONDITIONS AT THE SITE.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ROUGH GRADING OF SURFACE BELOW LAWN AND LANDSCAPE AREAS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING TOPSOIL, FIVE GRADING AND PREPARATION OF ALL LAWN AND LANDSCAPE AREAS.
- IN ORDER TO REPAIR TOPSOIL, THE LANDSCAPE CONTRACTOR SHALL INSPECT AND ACCEPT ALL BARE GRASSES. ANY SPOTWORK FROM USE AND SOILS SPECIFIED ON THE GRADING PLAN SHALL BE CORRECTED BY THE CONTRACTOR BEFORE PLACING ANY TOPSOIL.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY POOR DRAINAGE ON OTHER LAYERS. SURFACE CONDITIONS ARE INDICATED BY SHADING EXCAVATION FOR PLANTING PITS.
- ALL GRADING, UTILITY, AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO INSTALLATION OF PLANT MATERIAL AND LANDSCAPE MATERIALS.
- ALL BURSUS BEES ADJACENT TO LAWN AREAS SHALL HAVE A SPACED EDGE BORDER UNLESS METAL EDGE BORDER IS SPECIFIED.
- ALL BURSUS BEES SHALL HAVE A MINIMUM 6" BENCH THEN LAYER OF LANDSCAPE MULCH.
- IRIG. EMERGENT HERBICIDE SHALL BE USED UNDER MULCH IN ALL LARGE BED AREAS.
- LANDSCAPE CONTRACTOR SHALL BEED ALL AREAS DISTURBED BY CONSTRUCTION NOT DESIGNATED TO BE RESEED.
- LANDSCAPE CONTRACTOR SHALL WORK OVER LAWN AREAS THAT HAVE REMAINED INTACT TO TOP SOILING WITH SOIL, SPREADING AND RESEEDING TO FORM A SMOOTH, FULL, EVEN LAWN FREE OF BARE SPOTS, INDENTATIONS, AND WEARS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING SCHEDULES WITH IRRIGATION CONTRACTOR TO ENSURE PROPER WATERING OF PLANTED AND RESEED AREAS AFTER INSTALLATION. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANTING WITH IRRIGATION CONTRACTOR TO AVOID CONFLICTS WITH SPRINKLER HEADS AND LINES.

- GENERAL STANDARDS FOR LANDSCAPING**
- REQUIRED VEGETATION: ALL AREAS NOT COVERED BY BUILDING, PARKING AREAS, DRIVEWAYS, TRAILWAYS, PESTICIDE PLACES OF OTHER PESTICIDE - ORIENTED SURFACES OR WATER SURFACES SHALL BE PLANTED WITH LAWN VEGETATION, INCLUDING LAWN, TREES, SHRUBS AND BOUND COVER.
 - TOPSOIL: TOPSOIL SHALL BE INSTALLED WITH A MINIMUM DEPTH OF FOUR (4) INCHES FOR LAWN AREAS AND TWELVE (12) INCHES FOR PLANTING BEDS.
 - THE TOPSOIL WITHIN THE LIMITS OF DISTURBANCE OF A CONSTRUCTION SITE SHALL BE RESEED WITH ORNAMENTAL GRASS ACCORDING TO THE LANDSCAPE CONTRACTOR'S PLAN TO BE RESEEDING TO BE IN ACCORDANCE WITH BEST LANDSCAPE PRACTICES.
 - LANDSCAPE BEDS THAT HAVE BEEN CONTACTED DURING CONSTRUCTION ACTIVITIES SHALL BE LOOSESED AND AERATED TO A DEPTH OF AT LEAST 8" (8) INCHES.
 - STABILIZATION: ALL LANDSCAPE PLANTING AREAS SHALL BE STABILIZED AND AMENDED WITH SEED, SOIL, BOUND COVER, MULCHES OR OTHER APPROVED MATERIALS TO PREVENT SOIL EROSION AND ALLOW MAXIMUM INFILTRATION.
 - PLANTING BEDS: BURN USED AS MULCH SHALL BE AMENDED AT A MINIMUM DEPTH OF THREE (3) INCHES. PLANTING BEDS SHALL BE BOUND WITH PLASTIC, METAL, BRICK OR STONE IN RESIDENTIAL ZONE DISTRICTS AND METAL IN ALL OTHER ZONE DISTRICTS.
 - TRUNKS OF PLANTED: ALL REQUIRED PLANT MATERIAL SHALL BE PLANTED PRIOR TO ISSUING A BUILDING CERTIFICATE OF OCCUPANCY.
 - COMPLETION OF IMPROVEMENTS: TREE STAKES, DUMP WINDS AND TREE WRAP SHALL BE REMOVED AFTER COMPLETION OF THE BUREAU GRADING SEARCH.
 - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS INCLUDING VEGETATION IN THE PUBLIC RIGHT-OF-WAY.
 - PLANT MATERIALS INCLUDING LAWN SHALL BE MAINTAINED IN A SUBSTANTIALLY WEED FREE, HEALTHY CONDITION UNTIL NEARLY 100% ESTABLISHED BY APPEARANCE IN ACCORDANCE WITH THE APPROVED SITE PLAN.
 - PLANTS SHALL BE CONTROLLED BY WEEDING, TRUNKING, OR OTHER SUITABLE METHODS SO THAT THEY DO NOT INTERFERE WITH PUBLIC UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR CONSTITUTE A TRIP/HAZARD.
 - UNUSUAL, DRY, WITHERED, SEVERELY PRUNED, DAMAGED OR DEAD PLANTS SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.
 - PROTECTY SHALL BE OBLIGED TO PRESERVE AND PROTECT REMAINING TREES THAT PROVIDE SIGNIFICANT BIODIVERSITY, WILDLIFE HABITAT AND/OR ENHANCES TO WILDLIFE HABITAT.

CONTRACTOR NOTE:

ALL PROPOSED LANDSCAPE AREAS AROUND PARKING AND BUILDING TO BE IRRIGATED AS SHOWN BY DASHED LINE.

ALL PLANTING BEDS - APRIL, PERENNIAL, AND BURSUS BEES TO RECEIVE 12 INCHES OF HIGH QUALITY PLANTING BED SOIL.

STAKE: STAKES TO BE INSTALLED BETWEEN PLANTING BEDS AND LAWN AND BETWEEN PLANTS AND LAWN.

ALL DECIDUOUS TREES TO BE 2 1/2" CAL. AT TIME OF PLANTING PER ORDINANCE.

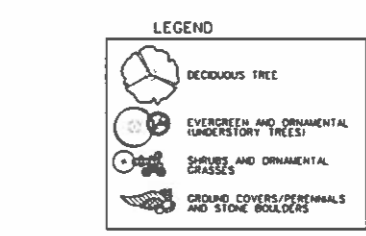
ALL ORNAMENTAL TREES TO BE 2 1/2" CAL. AT TIME OF PLANTING PER ORDINANCE.

ALL EVERGREEN TREES TO BE 8" TALL AT TIME OF PLANTING PER ORDINANCE.

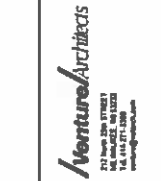
ALL SHRUBS TO BE PROVIDED WITH 2" CAL. BEES WITH A MIN. HEIGHT OF 2' AND MIN. WIDTH OF 2' AT TIME OF PLANTING PER ORDINANCE.

ALL PERENNIAL/SCRAMBLING CREANS TO BE 10" TALL AT TIME OF PLANTING.

SEE SPECIFICATIONS FOR INFORMATION ON SITE PLANTINGS.



Integrated Architecture
3400 Chester Avenue NW
Grand Rapids, MI 49503
616.574.0720 P
616.574.0753 F
www.iaarch.com



PRELIMINARY NOT FOR CONSTRUCTION

ISABELLA COUNTY
ISABELLA SHERIFF'S OFFICE AND CORRECTION FACILITY

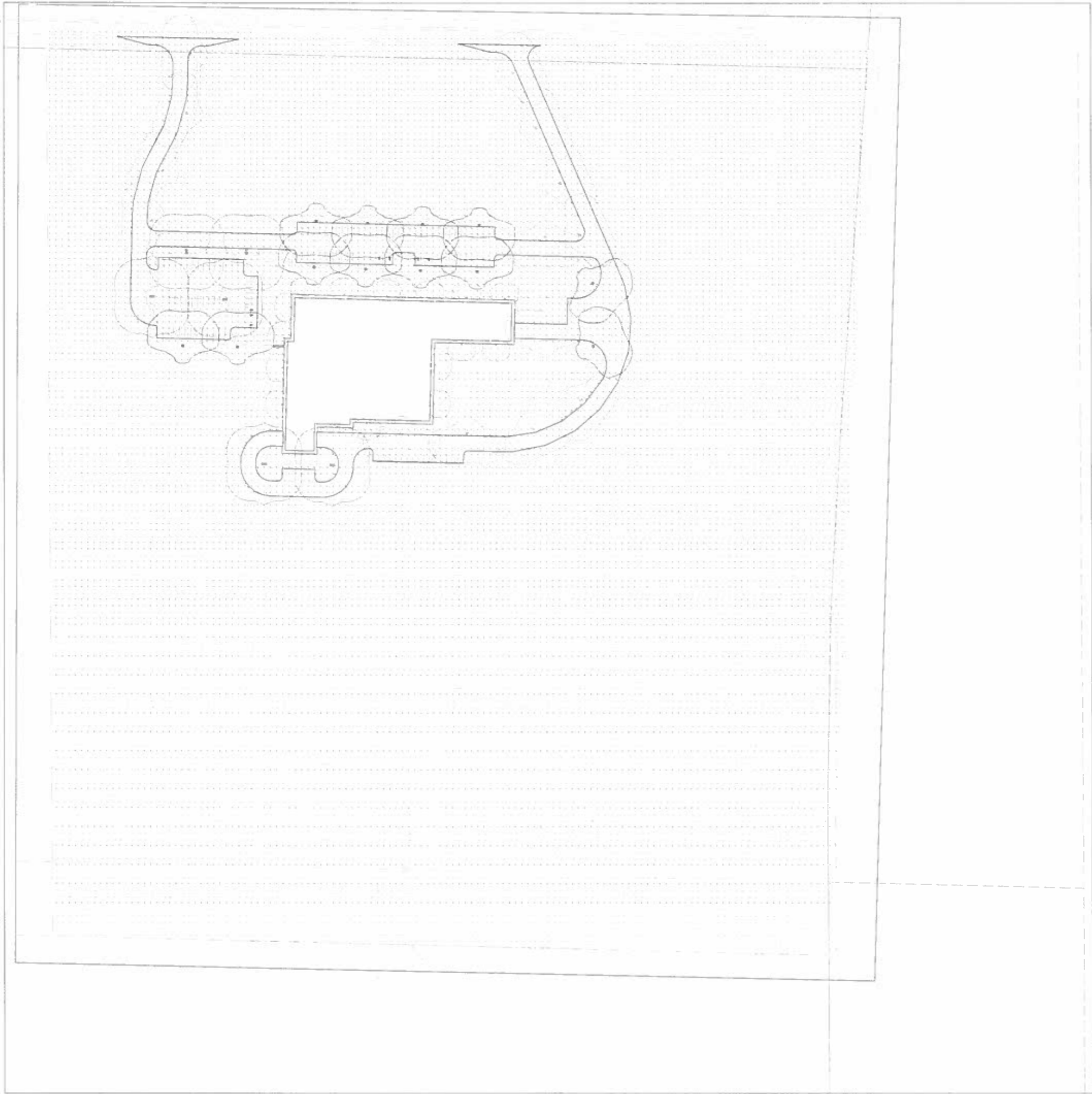
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Design Development	24 Nov. 2020
Schematic Design	12 Nov. 2020
Design	KAB
PM / PA	DD / EK
Drawn	KAB
IA Project Number	20180905

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Design Development	24 Nov. 2020
Schematic Design	12 Nov. 2020
Design	KAB
PM / PA	DD / EK
Drawn	KAB
IA Project Number	20180905

OVERALL SITE LANDSCAPE PLAN

LP1-0
032

SITE LANDSCAPE PLAN



Scale: 1 inch = 60 ft

CALCULATION SUMMARY					
LABEL	UNITS	AVG	MAX	MIN	MAXIMUM
Ground Plane	Fc	0.20	0.3	0.0	N.A.
Drive and Lot	Fc	2.31	0.2	0.0	N.A.

LIGHTING FIXTURE SCHEDULE					
TYPE	QTY	ILL. WATTS	LUMENS	DESCRIPTION / NOTES	ISSUE DATE
OL3	15	0.800	2235	WEDGE P3 40K 80CRI VW	11/20/2017
OL2 B-S	6	0.900	125	DSX1 P4 40K T4M BACK-BACK	11/20/2017
OL2	12	0.900	125	DSX1 P4 40K T4M	11/20/2017
OL1	14	0.900	125	DSX1 P4 40K T35	11/20/2017

REVISION X

5145 Livemore, Suite 100
Troy, Michigan 48068-3275
T: 248-879-5666 F: 248-879-007
www.PeterBassoAssociates.com
PBA Project #



PROJECT TITLE
ISABELLA COUNTY JAIL

2020.0050

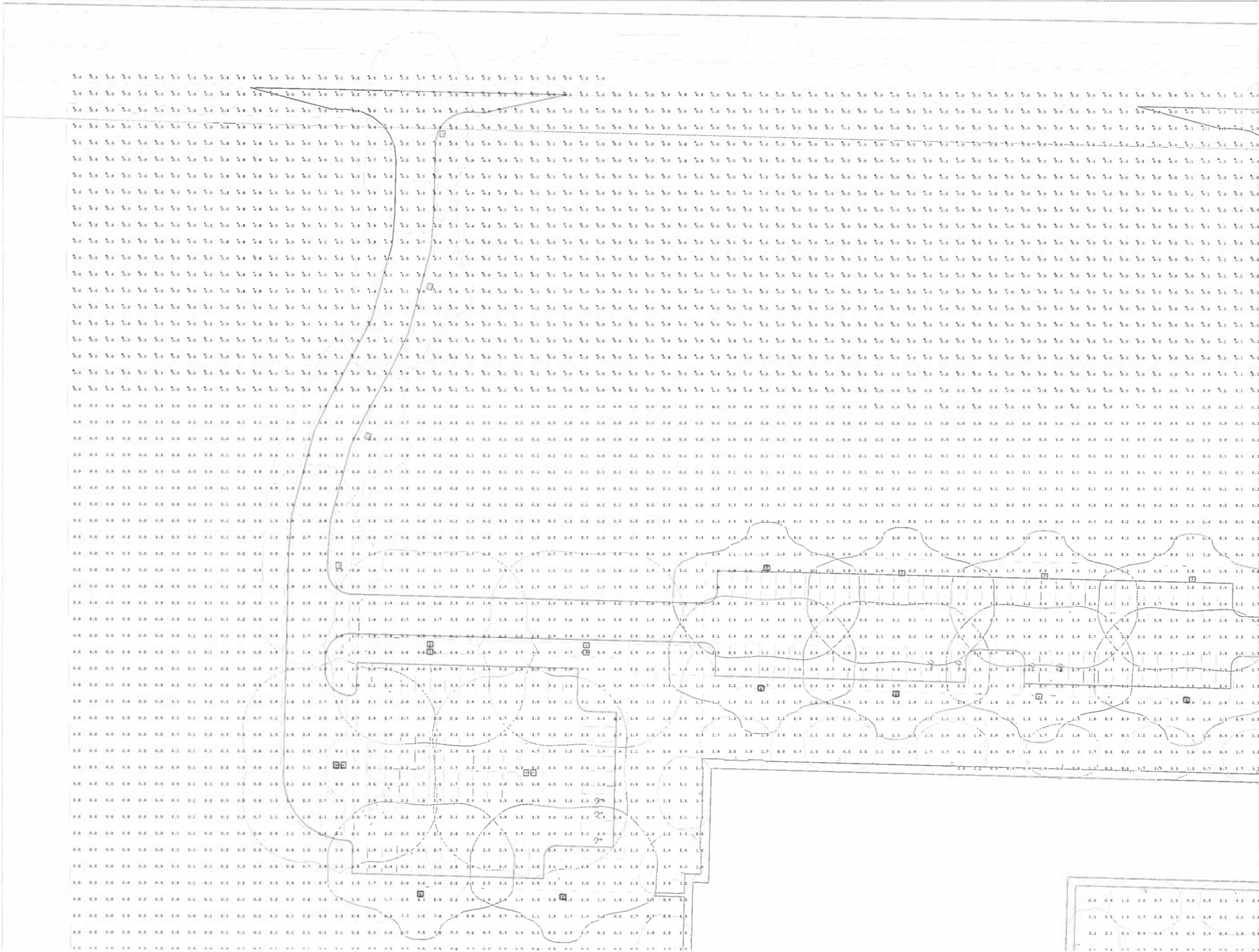
SHEET TITLE
PRELIMINARY SITE CALCULATIONS

DATE
05-11-2021
BY:
DMN

SHEET No.

PAGE 1

033



date

REVISION
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Troy, Michigan 48068-3275
T: 248-879-5666 F: 248-879-007
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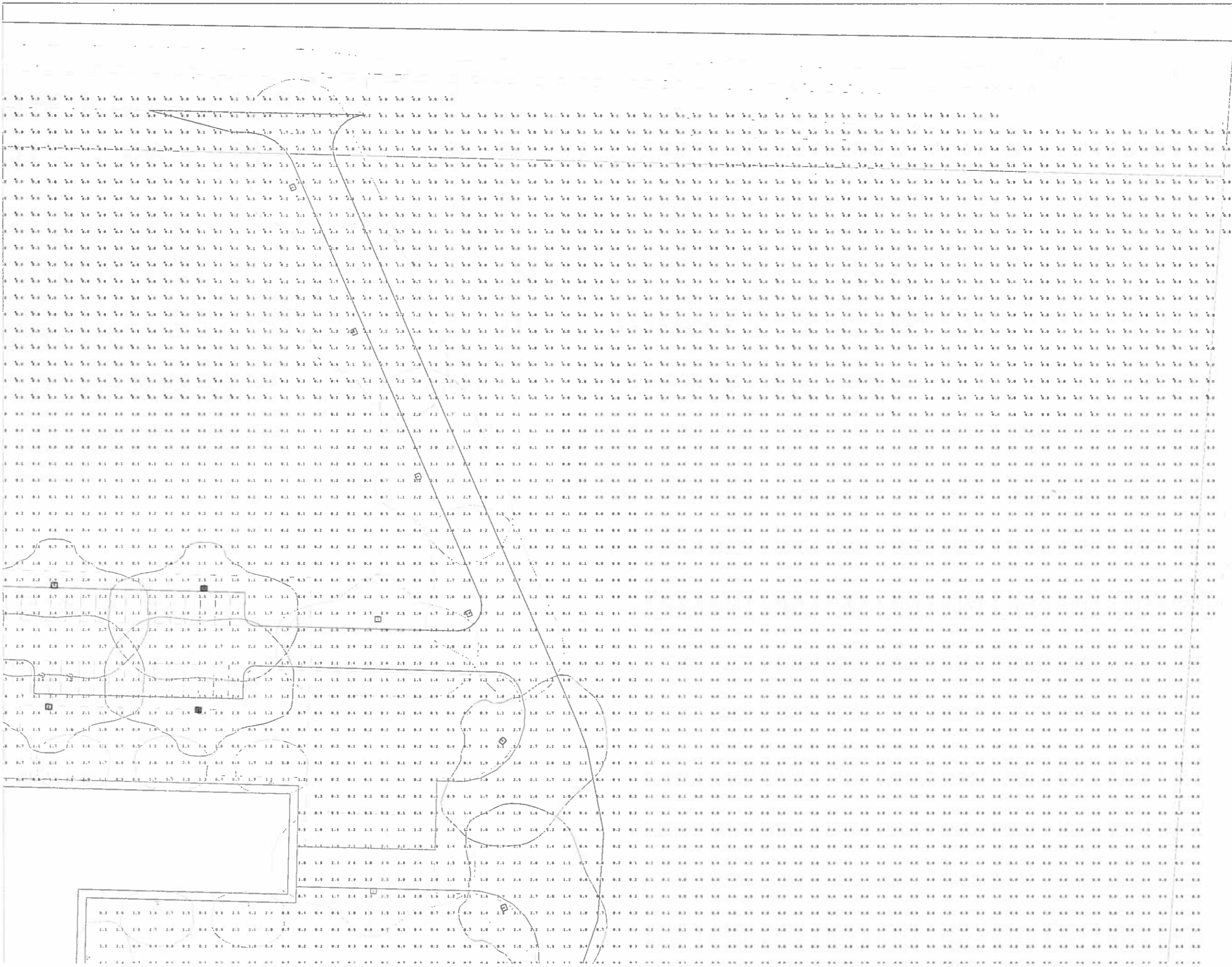
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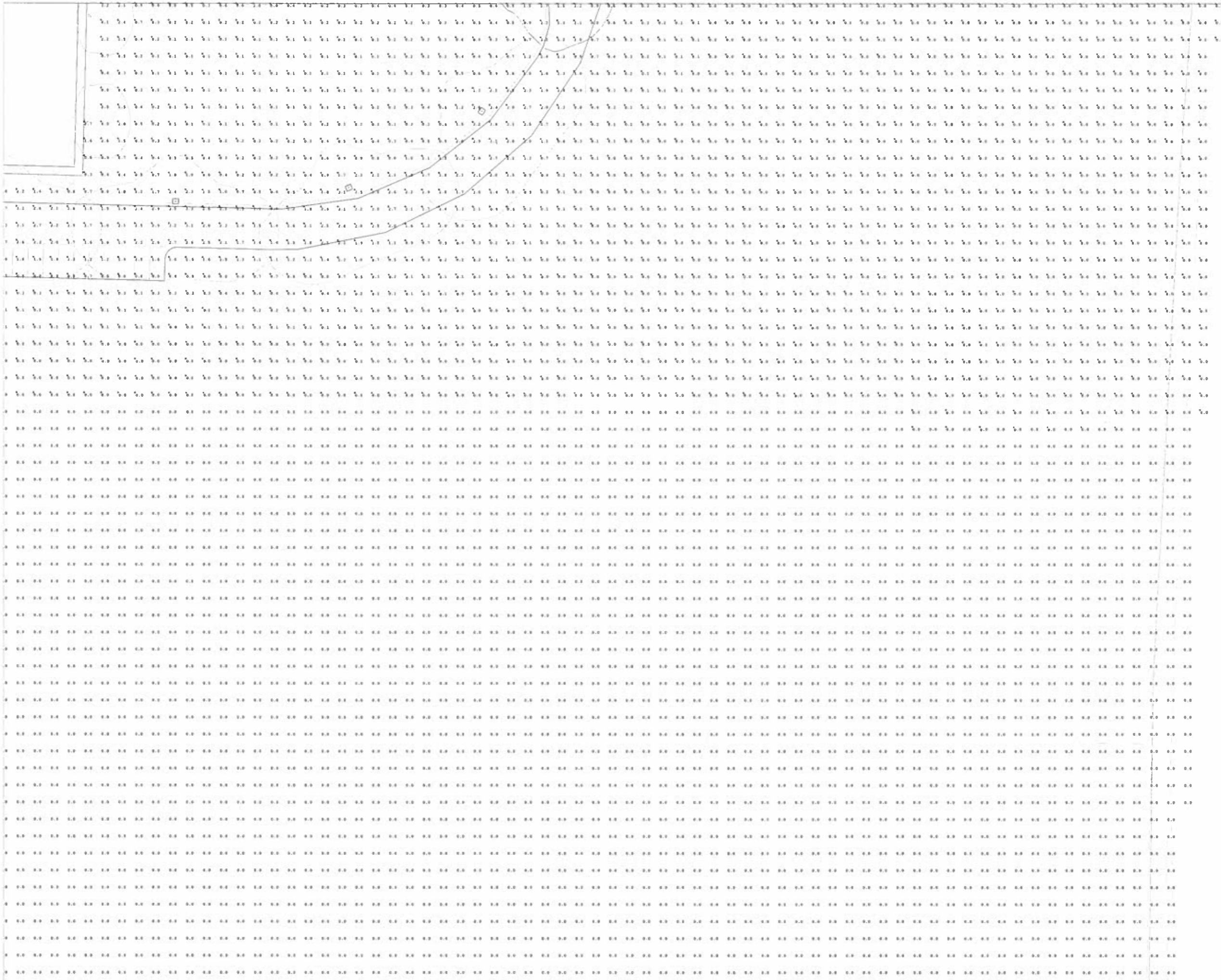
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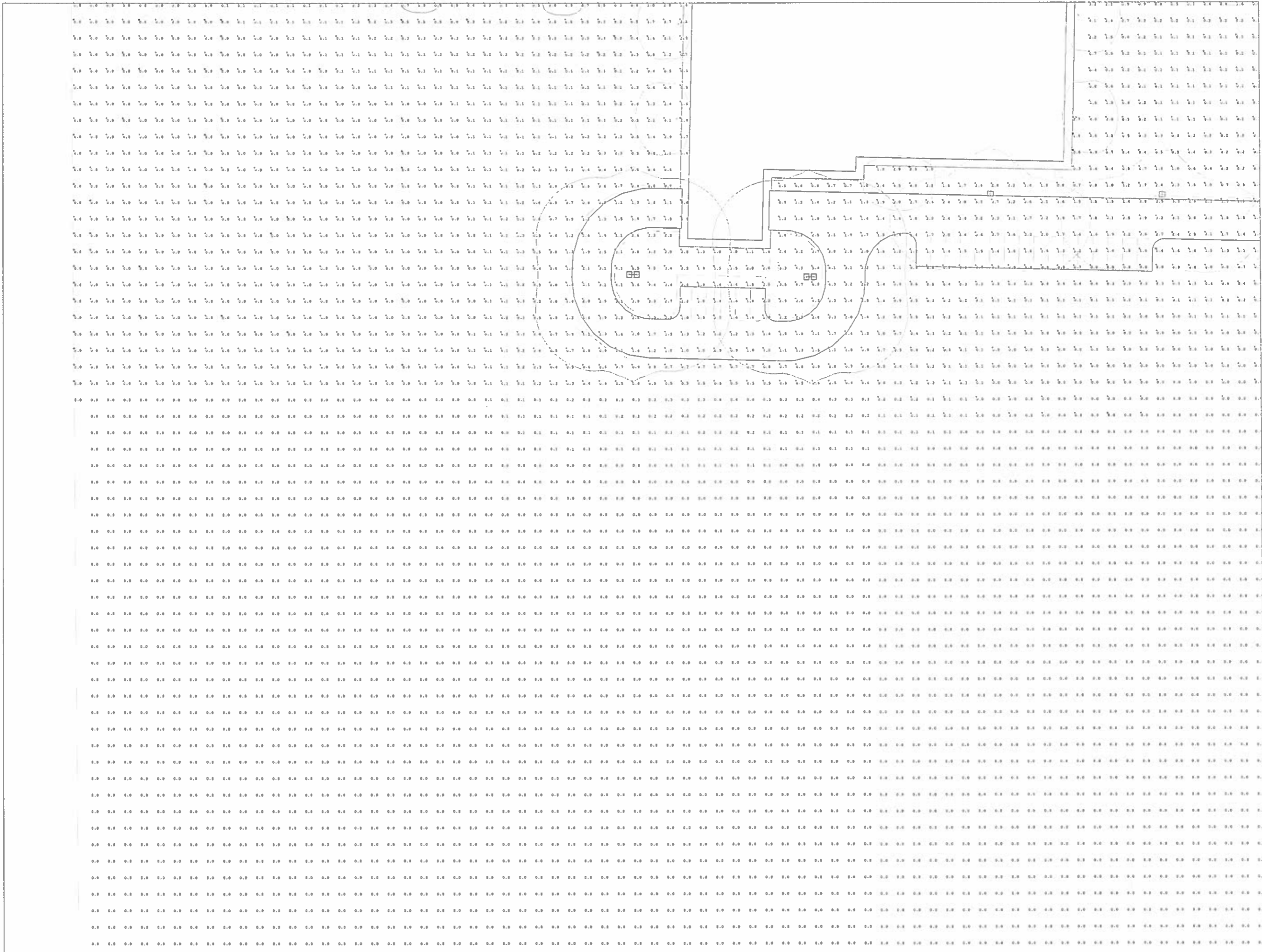


Peter Basso Associates Inc
CONSULTING ENGINEERS

PROJECT TITLE
ISABELLA COUNTY JAIL

SHEET TITLE
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REVISION
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T: 248-879-6666 F: 248-879-007
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PROJECT TITLE
ISABELLA COUNTY JAIL

2020.0050

SHEET TITLE
PRELIMINARY SITE CALCULATIONS

DATE
05-11-2021

BY:
DMN

SHEET No.

SPECIAL USE PERMIT REPORT

TO:	Planning Commission	DATE:	June 2, 2021
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	R2-A, One- and Two-Family District
PROJECT:	PSUP 21-01 Special Use Permit Application for the new Isabella County Jail and Sheriff’s Office.		
PARCELS:	PID 14-024-10-001-02 & -003-00		
OWNER(S):	Isabella County (purchase agreement); Bader & McDonald LLC		
LOCATION:	Approximately 44.58 acres on the south side of E. Remus Rd. in the NW 1/4 of Section 24.		
EXISTING USE:	Vacant; primarily open farmland with some woodlands to the south	ADJACENT ZONING:	R-4 (Mobile or Modular Home District), B-4 (General Business), R-2A, and the US-127 right-of-way.
FUTURE LAND USE DESIGNATION: Residential areas are intended to “promote single-family homes on a variety of lot sizes.”			
ACTION REQUESTED: To hold a public hearing, review, and make recommendations to the Board of Trustees on the special use permit application for the new Isabella County Jail and Sheriff’s Office per Section 14.3.J. (Standards for Special Use Approval).			

Background Information

Isabella County has determined that it has become necessary to replace the existing jail and Sheriff’s Office adjacent to the county Courthouse in the City of Mt. Pleasant. Concerns about the existing facilities include utility and HVAC system deficiencies, excessively high maintenance costs, and the need for upgrades to better provide for the health and safety of inmates and county personnel. The county has also determined that rebuilding on the same or an immediately adjacent downtown site is impractical.

The county evaluated a number of potential sites for the new 59,406 square-foot facility. A previously proposed site in the Township was ultimately determined by the county to not meet their needs in part because of concerns about availability of municipal water and sanitary sewer services. The current site has been owned by a limited liability corporation (Bader & McDonald LLC), but the signed purchase agreement included with the application provides the permission necessary for the county to seek this special use permit and the associated site plan approvals.

In accordance with Section 14.6 (Public Hearing Notice) of the Zoning Ordinance, all required hearing notices have been published in The Morning Sun and mailed to the addresses on record for all parcels located within 300 feet of the boundaries of the two (2) subject parcels.

Review Comments

Section 14.03J. of the Zoning Ordinance establishes the standards for special use approval. Special use permit approval is subject to a Planning Commission public hearing and recommendation to the Board of Trustees. The Board of Trustees retains final authority to approve or deny any special use permit. The Planning Commission’s recommendation should include “*affirmative findings of fact and records adequate data, information, and evidence*” to support a conclusion that the proposed special use conforms to the standards of Section 14.03J.

Each of the seven (7) standards from this Section are listed below in bold printed text. Staff review comments follow under each standard. Please note that, for clarity and readability purposes, staff has divided standards #2 and #7 into several subsections:

Section 14.3.J. (Standards for Special Use Approval)		Status
1	<p>The proposed land use is identified in Section 3 as a special use in the zoning district.</p> <p>The proposed facility is a type of public and institutional building and use, which is allowed as a special use in the R2-A (One- and Two-Family) zoning district (Section 3.8).</p>	Conforms
2(a)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of <u>traffic</u>....</p> <p><u>The proposed use can conform to this standard.</u> Anticipated vehicular traffic would be limited to automobiles, vans, and delivery vehicles. The proposed west access drive to the facility is aligned with an existing Morey Courts driveway and there is no conflict with the proposed east access drive. E. Remus Rd. is a local public road paved for part of its length. Just over 1,000 linear feet of new roadway paving is proposed to the east to accommodate vehicular access to the new facility. Beyond the new end of pavement would remain about 500 feet of unimproved road with a poorly defined turnaround area adjacent to US-127.</p> <p><u>With an extension of road width, surface, and turnaround improvements along the remaining road length consistent with current county Road Commission standards, the road can provide sufficient capacity to support the proposed use.</u></p>	Can Conform
2(b)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of <u>noise</u>....</p> <p>The proposed use conforms to this standard. The predominant sources of potential noise from this facility are associated with HVAC equipment, vehicles, inmates, and use of sirens by deputies responding to an emergency call. The HVAC equipment is required to be screened and will be located well away from adjacent residences. Sheriff Main’s 5/10/2021 letter addresses other potential operational noise, and provides additional background information about the use of lights and sirens.</p> <p>No noise issues associated with inmates are anticipated, because the proposed jail facility does not have windows (only skylights) and the cells are not located on any exterior walls.</p>	Conforms

Section 14.3.J. (Standards for Special Use Approval)		Status
2(c)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of...<u>vibration, smoke, fumes, odors, dust, glare, light, drainage, pollution or other adverse impacts.</u></p> <p>The proposed use conforms to this standard. There is more than sufficient land area to provide for adequate stormwater management on the site in a manner that does not impact neighboring properties or roads. All exterior lighting for the facility will be required to be fully shielded per Section 8.2 (Exterior Lighting) standards. No vibration, smoke, fumes, odors, dust, glare, or pollution impacts are anticipated from the facility.</p>	Conforms
3	<p>The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.</p> <p><u>The proposed use can conform to this standard, subject to the details of proposed screening and land use buffers being finalized as part of the site plan approval process.</u></p> <p>As a county jail and sheriff's office facilities are, by necessity, a 24-hour, seven-days-per-week operation, there will be no option for the Planning Commission to place any restrictions on the hours or days of operation.</p>	Can Conform
4	<p>The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.</p> <p>Staff would have no objection to a Planning Commission determination that the proposed use conforms to this standard. The subject parcels are designated in the Master Plan for future <i>Residential</i> uses. The <i>Residential</i> designation is intended for land areas served by municipal water and municipal sewer services, which are available just west of the site.</p> <p>The Master Plan does not include any policy direction related to the preferred locations of public or institutional buildings, but the site is located across the road from a cluster of three (3) existing public or institutional buildings serving the Township:</p> <ol style="list-style-type: none"> 1. Morey Courts Recreation Center (5175 E. Remus Rd.); 2. Isabella County Events (ICE) Arena (5165 E. Remus Rd.); and 3. Mt. Pleasant Discovery Museum (5093 E. Remus Rd.). 	Conforms
5	<p>The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.</p> <p><u>The proposed use can conform to this standard, subject to confirmation of compliance with all applicable Township ordinances as part of the required preliminary and final site plan approvals for this development.</u> The proposed development will be subject to applicable site development and other requirements of the Zoning Ordinance, and to the applicable standards of other Township ordinances, including the Sidewalk and Pathway Ordinance No. 2009-02 and the Stormwater Management Ordinance No. 1992-09</p>	Can Conform

Section 14.3.J. (Standards for Special Use Approval)		Status
6	Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.	Conforms
	The proposed use conforms to this standard. The closest residences to the south are located more than 1,100 feet away from the proposed building. Any potential land use incompatibilities are anticipated to be minimized by the substantial woodland buffer area along the south side of the site, and compliance with the landscaping and screening requirements of the Zoning Ordinance.	
7(a)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to...<u>fire protection services (and) municipal water...systems....</u>	Conforms
	The proposed use conforms to this standard. In addition to providing a safe potable water supply to the proposed facility, the proposed connection into the Township's municipal water system is essential to satisfying the Michigan Building Code and state fire code requirements for the internal fire suppression system and external fire hydrants needed to support the work of the Mt. Pleasant Fire Department during an emergency response. The details of the proposed water system extension will be subject to Public Services Department approval as part of the site plan approval process. Proposed fire hydrant locations will be reviewed by the Mt. Pleasant Fire Department.	
7(b)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to...<u>municipal...sewerage systems....</u>	Can Conform
	The proposed use can conform to this standard, subject to confirmation from the Public Services Department of adequate capacity in the municipal sanitary sewer line and pump station to serve this more intensive institutional use without adversely impacting existing Township residents and the planned capacity for future sewer connections.	
7(c)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to <u>roads, police...protection services, (and) refuse disposal....</u>	Conforms
	The proposed use conforms to this standard. Adequate correctional facilities and a functional office space for law enforcement personnel and support staff are essential for the county Sheriff to fulfil his responsibilities under the Michigan Constitution and state and local laws. For road impacts, please see our comments under standard 2(a) above. The applicant has provided for a secured trash dumpster enclosure area on the site, which would be serviced by a private contractor.	
7(d)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to...<u>other utilities, drainage facilities, and public or private wells....</u>	Conforms
	The proposed use conforms to this standard. There are no municipal wells in the immediate area, and the proposed development is not anticipated to adversely impact the capacity of any private wells in the area. Adequate electrical and natural gas services are available. Provided that roadside drainage infrastructure meets county Road Commission standards, no impacts to off-site drainage facilities are anticipated.	

Section 14.3.J. (Standards for Special Use Approval)		Status
7(e)	The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.	Can Conform
	The proposed use can conform to this standard, provided that necessary roadway improvements and municipal utility extensions are completed as part of the development consistent with applicable standards. Sheriff Main has indicated in previous public comments that the new facility will allow his department to operate more efficiently. No other impacts on public services or infrastructure are anticipated.	

Objective

Following the hearing, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to recommend to the Township Board approval, approval with conditions, or denial of the special use permit application, or to postpone further consideration of the application to a date certain in accordance with the provisions of Section 14.3.F.4.

Key Findings

The proposed County Jail and Sheriff’s Office facility is a type of “*public and institutional building and use*” allowed as a special use in the R2-A (One- and Two-Family) District. The proposed use can fully conform to Section 14.3.J. (Standards for Special Use Approval), subject to some details being addressed on the final site plan.

Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to recommend approval of Special Use Application PSUP 21-01 to the Board of Trustees, subject to the following conditions:

1. A final site plan is approved for the new Isabella County Jail and Sheriff’s Office.
2. Township Public Services Department approval of municipal water and municipal sanitary sewer service extensions to the site.
3. Completion of the roadway paving and additional width, surface, and turnaround area improvements along the remaining length of E. Remus Rd. to US-127.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

Draft Motions: PSUP 20-01 Isabella County Jail and Sheriff's Office Special Use Permit Application

MOTION TO RECOMMEND APPROVAL:

Motion by _____, supported by _____, to recommend to the Township Board of Trustees to approve the PSUP 21-01 special use permit application from Isabella County for the new Isabella County Jail and Sheriff's Office on approximately 44.58 acres of land (parcel numbers 14-024-10-001-02 & -003-00) on the south side of E. Remus Rd. in the northwest quarter of Section 24 and in the R2-A (One- and Two-Family) zoning district, finding that it fully complies with Section 14.3.J. (Standards for Special Use Approval).

MOTION TO RECOMMEND APPROVAL WITH CONDITIONS:

Motion by _____, supported by _____, to recommend to the Township Board of Trustees to approve the PSUP 21-01 special use permit application from Isabella County for the new Isabella County Jail and Sheriff's Office on approximately 44.58 acres of land (parcel numbers 14-024-10-001-02 & -003-00) on the south side of E. Remus Rd. in the northwest quarter of Section 24 and in the R2-A (One- and Two-Family) zoning district, finding that it can comply with Section 14.3.J. (Standards for Special Use Approval), subject to the following conditions:

1. A final site plan is approved for the new Isabella County Jail and Sheriff's Office.
2. Township Public Services Department approval of municipal water and municipal sanitary sewer service extensions to the site.
3. Completion of the roadway paving and additional width, surface, and turnaround area improvements along the remaining length of E. Remus Rd. to US-127.

MOTION TO RECOMMEND DENIAL:

Motion by _____, supported by _____, to recommend to the Township Board of Trustees to deny the PSUP 21-01 special use permit application from Isabella County for the new Isabella County Jail and Sheriff's Office on approximately 44.58 acres of land (parcel numbers 14-024-10-001-02 & -003-00) on the south side of E. Remus Rd. in the northwest quarter of Section 24 and in the R2-A (One- and Two-Family) zoning district, finding that it does not comply with Section 14.3.J. (Standards for Special Use Approval), for the following reasons:

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSUP 21-01 special use permit application from Isabella County for the new Isabella County Jail and Sheriff's Office on approximately 44.58 acres of land (parcel numbers 14-024-10-001-02 & -003-00) until _____, 2021 for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

 Minor Site Plan


 Preliminary Site Plan

 Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project		Isabella Sheriff's Office and Correction Facility	
Common Description of Property & Address (if issued)		5270 E. Remus Road, Mt. Pleasant, MI 48858	
Applicant's Name(s)		ROWE Professional Services Company	
Phone/Fax numbers	(989) 772-2138	Email	tgrunder@rowepsc.com
Address	127 S. Main Street	City:	Mt. Pleasant
		Zip:	48858

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-024-10-001-02; 14-024-10-002-00	
Existing Zoning:	R-2A	Land Acreage:	44.58	Existing Use(s):	Vacant Agricultural Field
ATTACHED: Letter describing the project and how it conforms to Section 14.2.5. (Standards for Site Plan Approval)					

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: ROWE Professional Services Co. Phone: 772-2138 Email: tgrunder@rowepsc.com 2. Address: 127 S. Main Street City: Mt. Pleasant State: Zip: 48858 Contact Person: Troy R. Grunder, P.E. Phone 772-2138
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: Isabella County Phone: (989) 772-0911 Address: 200 N. Main Street City: Mt. Pleasant State: Zip: 48858 Signature:  Interest in Property: owner 2. Name: Phone: Address: City: State: Zip: Signature: Interest in Property:

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

Troy Grunder, P.E.

Digitally signed by Troy Grunder, P.E.
 DN: C=US, E=tgrunder@rowepsc.com, OU=Senior Project Engineer, O=ROWE Professional Services Company,
 CN=Troy Grunder, P.E.
 Date: 2021.05.11 09:17:37-04'00'

05/11/2021

Signature of Applicant

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Isabella County Jail

Name of business owner(s): Isabella County


Street and mailing address: 200 N. Main Street, Mount Pleasant, MI, 48868

Telephone: (989) 772-0911

Fax: _____

Email: _____

I affirm that the information submitted is accurate.

Owner(s) signature and date:  5/11/2021

Information compiled by: ROWE Professional Services Company

Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
None				
<div style="font-size: 2em; font-weight: bold; margin-bottom: 5px;">X</div> <div style="font-weight: bold; margin-bottom: 5px;">NONE</div>	KEY: UQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank

S. Standards for Site Plan Approval.

In reviewing a minor, preliminary or final site plan, the Zoning Administrator or Planning Commission shall determine that the following standards are met, as applicable to the type of site plan:

Standards for Site Plan Approval	Minor Site Plan	Preliminary Site Plan	Final Site Plan
The applicant is legally authorized to apply for site plan approval, and all required information has been provided.	●	●	●
The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.	●	●	●
The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.			●
The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.	●	●	●
The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.		●	●
Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.		●	●
The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.	●	●	●
The proposed development is adequately coordinated with improvements serving the area, and with other existing or planned development in the vicinity.		●	●
Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.		●	●
Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.		●	●
The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.			●
The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.			●
Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.	●		●
Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.	●		●
The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.	●		●
Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.			●
Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.			●
The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.	●		●

PERMIT INFORMATION CHECKLIST FOR FINAL SITE PLANS

Michigan.gov/EGLEpermits

The Michigan Department of Environment, Great Lakes, and Energy (EGLE) has prepared a list of key questions to help identify what EGLE permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from EGLE, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: Michigan.gov/EHSguide. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the EGLE programs noted below. [insertions and edits by Union Township]

How Do I Know that I Need a State of Michigan, County or Local Permit or Approval?	Yes <input type="checkbox"/>	No <input type="checkbox"/>
1) Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)? Air Quality Permit to Install, Air Quality Division (AQD), <u>Permit Section</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
2) Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos. Asbestos Notification, AQD, <u>Asbestos Program</u> , 517-284-6777	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
3) Please consult the <u>Permitting at the Land and Water Interface Decision Tree document</u> to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?). Land and Water Featured Programs (Water Resources Division - WRD) - <u>Joint Permit Application</u> , 517-284-5567:		
a. Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
b. Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
c. Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
d. Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
4) Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction) or does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? Union Township and Isabella County	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
5) Does the project involve the construction or alteration of a water supply system? Union Township Public Services Department and <u>Drinking Water & Environmental Health Division (DWEHD)</u> , 517-284-6524	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
6) Does the project involve construction or alteration of any sewage collection or treatment facility? Union Township Public Services Department and <u>WRD, Part 41 Construction Permit Program (staff)</u> , 906-228-4527, or <u>EGLE District Office</u>	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
7) Public Swimming Pool Construction (Spas/Hot Tubs) Permits: Will your business involve the construction or modification of a public swimming pool, spa or hot tub? Union Township and Public Swimming Pool Program , 517-284-6541, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
8) Does the project involve the construction or modification of a campground? Union Township and DWEHD, Campgrounds program , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

9) Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground? Materials Management Division (MMD), <u>Solid Waste</u> , 517-284-6588, or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
10) Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste? MMD, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Drinking (Potable) Water Supply?		
11) I am buying water from the municipal water supply system Contact the Union Township Public Services Dept.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>
12) I have a Non-Community Water Supply (Type II) <u>Guide</u> , <u>Contact (District or County) Local Health Department</u> , 517-485-0660	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
13) I am a community water supply (Type I) <u>Community Water Supply</u> , <u>DWEHD District Office Community Water Supply Program</u> , 517-284-6512	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
14) Do you desire to develop a <u>withdrawal of over 2,000,000 gallons of water per day</u> from any source including groundwater, inland surface water, or the Great Lakes and their connecting waterways? WRD, Great Lakes Shorelands Unit, Water Use Program, 517-284-5563	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Who Regulates My Wastewater Discharge System?		
15) NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water? WRD, <u>EGLE District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u> , 517-284-5568	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
16) Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water? WRD, <u>Permits Section</u> , or <u>EGLE District Office</u> , 517-284-5588	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
17) Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)? WRD, <u>Groundwater Permits Program</u> , 517-290-2570	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
18) Does the project involve the drilling or deepening of wells for waste disposal? <u>Oil, Gas and Minerals Division (OGMD)</u> , 517-284-6841	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Operation and Air Emissions?		
19) Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants? AQD, <u>Permit Section</u> , 517-284-6634	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
20) Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel? AQD, <u>Acid Rain Permit Program</u> , 517-780-7843	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Operational Permits Are Relevant to My Waste Management?		
21) Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground? <u>MMD</u> , 517-284-6588 or <u>EGLE District Office</u>	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
22) Does the project involve the on-site treatment, storage, or disposal of hazardous waste? MMD, <u>Hazardous and Liquid Waste</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
23) Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Hazardous Waste Program Forms & License Applications</u>) MMD, <u>EGLE District Office</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

24) Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form? MMD, <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
25) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD <u>Radioactive Material and Standards Unit</u> , 517-284-6581	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
26) Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal? MMD, <u>Medical Waste Regulatory Program</u> , 517-284-6594	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Sector-Specific Permits May be Relevant to My Business?		
Transporters	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
27) Does the project involve the <i>transport</i> of some other facility's non-hazardous liquid waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
28) Does the project involve the <i>transport</i> of hazardous waste? MMD, <u>Transporter Program</u> , 517-284-6562	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
29) Do you engage in the business of transporting bulk water for drinking or household purposes (except for your own household use)? DWEHD, <u>Water Hauler Information</u> , 517-284-6527	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
30) Does the project involve <i>transport</i> of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground? DWEHD, <u>Septage Program</u> , 517-284-6535	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
31) Do you store, haul, shred or process <i>scrap tires</i> ? MMD, <u>Scrap Tire Program</u> , 517-284-6586	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
Sectors	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
32) Is the project a <i>dry cleaning</i> establishment utilizing perchloroethylene or a flammable solvent in the cleaning process? AQD, <u>Dry Cleaning Program</u> , 517-284-6780	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
33) Does your <i>laboratory</i> test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act? <u>Laboratory Services Certifications</u> , 517-284-5424	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
34) Does the project involve the operation of a <i>public swimming pool</i> ? DWEHD, <u>Public Swimming Pools Program</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
35) Does the project involve the operation of a <i>campground</i> ? Union Township and DWEHD, <u>Campgrounds</u> , 517-284-6529	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
What Permits Do I Need to Add Chemicals to Lakes and Streams?		
36) Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc.) in a water body (i.e. lake, pond or river)? WRD, <u>Aquatic Nuisance Control</u> , 517-284-5593	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>
37) Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)? WRD, <u>Surface Water Assessment Section</u> , 517-331-5228	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>

Why would I be subject to Oil, Gas and Mineral Permitting?	
38) Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)? OGMD, <u>Petroleum Geology and Production Unit</u> , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
39) Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline? OGMD, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u> , 517-284-6826	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
40) Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background? MMD, <u>Radioactive Protection Programs</u> , 517-284-6581	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
<u>Petroleum & Mining</u> , OGMD, 517-284-6826	
41) Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
42) Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
43) Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
44) Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
45) Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>
46) Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>

Contact **Union Township** and EGLE Permits & Bonding, OGMD, 517-284-6841

PURCHASE AND SALE AGREEMENT

This Purchase and Sale Agreement ("Agreement"), dated this 30th day of April, 2021, between **BADER & McDONALD, LLC**, a Michigan limited liability company, whose address is 1720 E. Pickard Rd., Mt. Pleasant, MI 48858, ("**Seller**") and **ISABELLA COUNTY**, a Michigan political subdivision, whose address is 200 N. Main St., Mt. Pleasant, MI 48858 ("**Purchaser**").

RECITALS

WHEREAS, Seller is the owner of certain real property located in the Township of Union, Isabella County, Michigan, more particularly described in the Exhibit "A" attached hereto (the "Property"); and

WHEREAS, Seller desires to sell the Property, and Purchaser desires to acquire the Property, on the terms and conditions set forth below.

NOW THEREFORE, Seller and Purchaser covenant and agree as follows:

AGREEMENT

1. **Purchase Price.** The purchase price of the Property (the "Purchase Price") shall be [REDACTED] Dollars [REDACTED] payable to Seller at Closing (as defined below).

2. **Earnest Money.** As security for Purchaser's performance of its obligations under this Agreement, Purchaser shall deposit with Mt. Pleasant Abstract & Title ("Title Company"), as escrow agent ("Escrow Agent"), simultaneously with Purchaser's execution and delivery of this Agreement, the sum of FIVE THOUSAND AND NO/100 Dollars (\$5,000.00) as earnest money (the "Earnest Money"). The Earnest Money shall be deposited by the Escrow Agent in an interest-bearing account, and any interest earned on this sum shall accrue to the benefit of the Purchaser.

In the event this transaction is closed pursuant to the terms of this Agreement, Escrow Agent shall pay the Earnest Money plus accrued interest to Seller at Closing and Purchaser shall receive a credit against the Purchase Price in the amount of the Earnest Money plus accrued interest. If the transaction does not close pursuant to the terms of this Agreement, then the Earnest Money plus accrued interest shall be disposed of by Escrow Agent pursuant to the provisions of this Agreement.

3. **Title.** Seller shall convey to Purchaser such good and marketable title to the Property as will enable Title Company to issue its full-coverage, standard, revised ALTA Owner's Policy of Title Insurance ("Title Insurance"), in the amount of the Purchase Price, subject, however, to the permitted title exceptions ("Permitted Title Exceptions"),

but without exception as to matters of survey (*except as otherwise permitted by this Agreement*) or to mechanics' or similar liens, and free and clear of any and all other mortgages, liens, judgments, encumbrances, leases, parties in possession, licenses, covenants, conditions, restrictions, easements, encroachments and any other matters of any nature affecting the Title, except as permitted in this Agreement.

a. **Examination of Title.** Purchaser shall have fifteen (15) days after the receipt of a title commitment to examine the Title to the Property and notify Seller in writing of any defects in the Title or Survey. In the event Purchaser fails to notify Seller of any defects within the fifteen (15) day examination period, Purchaser will be deemed to have waived such objections. All written exceptions not objected to shall be Permitted Title Exceptions. The cost of title insurance and all endorsements other than those required of Seller to clear title shall be paid by Purchaser.

b. **Survey Matters.** The sale of the Property shall be subject to the contents of a current survey ("Survey") of the Property. Seller shall provide a copy of an existing Survey to Purchaser. Purchaser may terminate this Agreement and receive a refund of the Earnest Money if the contents of the Survey, in Purchaser's reasonable judgment, materially interfere with the use contemplated for any portion of the Property, or with Purchaser's obtaining title insurance (*including insurance of marketability*) satisfactory to Purchaser. A metes and bounds description of the Property prepared from the Survey shall be used as the legal description of the Property on the warranty deed.

c. **Cure of Title Matters.** If Purchaser has notified Seller of any defects in Title as set forth above, Seller shall have fifteen (15) days within which to cure any such defects in Title.

d. **Purchaser's Right To Terminate.** If any such defect in Title of which Seller has been so notified on a timely basis is not cured within the period set forth above, then Purchaser may, by written notice to Seller prior to Closing, terminate this Agreement in which case Escrow Agent shall promptly refund the Earnest Money and accrued interest to Purchaser, and thereafter neither party shall have any further rights, obligations or liabilities under this Agreement, except to the extent that any right, obligation or liability expressly survives termination of this Agreement.

4. **Closing.** The consummation and closing ("Closing") of the purchase and sale contemplated in this Agreement shall be held during regular business hours no more than forty-five (45) days after all of Purchaser's conditions are met ("Closing Date"), or later date as mutually agreed upon by the parties.

a. **Possession.** At Closing, Seller shall deliver possession of the Property to Purchaser.

b. **Seller's Closing Costs.** Seller shall pay costs for all of its consultants, the costs (*including recording costs*) of any cure of title defects required of Seller under this Agreement and the fees and expenses of Seller's own attorneys.

c. **Purchaser's Closing Costs.** Purchaser shall pay the costs of the preparation of the warranty deed, title insurance policy and all fees and expenses of Purchaser's own attorneys.

d. **Shared Closing Costs.** Seller and Purchaser shall divide equally, the cost of all transfer taxes due upon transfer of the Property, the recording costs associated with the conveyance of the Property, and any other closing costs.

5. **Prorations and Credits at Closing.** All ad valorem real estate taxes with respect to the Property for the current year shall be prorated as of the Closing Date and the portion of any such taxes allocable to periods up through the Closing Date shall be charged to Seller at Closing as a credit against the Purchase Price. Taxes will be treated as if they cover the calendar year in which they are first billed. Taxes first billed in years prior to year of Closing will be paid by Seller without proration. Taxes which are first billed in the year of Closing will be prorated so that Seller will pay taxes from the first of the year to Closing Date and Purchaser will pay taxes for the balance of year, including day of Closing. If any bill for taxes is not issued as of the date of Closing, the then current taxable value and tax rate and any administrative fee will be substituted and prorated. Seller shall at or before Closing pay all delinquent taxes on the Property including penalties, interest and other charges. Special assessments which are or become a lien on or before Closing shall be the Seller's responsibility. All prorations are final unless provided otherwise herein.

6. **Conveyances and Deliveries at Closing.** At Closing, the following items shall be executed and delivered:

a. **Warranty Deed.** The Property shall be sold and conveyed by the Seller to the Purchaser by delivery of a Warranty Deed subject to restrictions of record and easements, if any, building and use codes, and further subject to any restrictions encumbrances or other matters approved by the Purchaser (collectively "Permitted Exceptions").

b. **Owner's Affidavit.** Seller shall also execute and deliver to Purchaser an affidavit with respect to liens and title matters.

c. **Closing Statement.** Seller and Purchaser shall execute and deliver a closing statement which shall set forth the Purchase Price, all credits against the Purchase Price, the amounts of all prorations and other adjustments to the Purchase Price, and all disbursements made at Closing on behalf of Purchaser.

d. **Release of Mortgages and Liens.** At Closing, Seller shall pay in full or cause the Property to be fully released from all loans, mortgages and other financing owed by Seller and secured by the Property or any part of the Property, and shall evidence the satisfaction of such indebtedness or such release to the satisfaction of Purchaser and the Title Company.

7. **Seller's Representations and Warranties.** Seller represents and warrants to Purchaser that, to the best of its knowledge that:

a. **Title to Real Property.** Seller is the owner of the Property free and clear of all encumbrances, occupancies or restrictions, except for the Permitted Title Exceptions.

b. **Occupancy; Possession.** Seller has the exclusive right of occupancy and possession of the Property. No other party has any deed, option or other conveyance of any right or interest in or to the Property, except for the Permitted Title Exceptions.

c. **Environmental Matters.** Neither Seller nor Seller's agents, employees or representatives have used, nor authorized, nor allowed the use of the Property nor does Seller have any actual knowledge of the existence of the handling, treatment, storage, disposal or release of any hazardous or toxic substance or hazardous or toxic material as defined under any applicable state or federal law or regulation including, without limitation, the Comprehensive Environmental Response, Compensation and Liability Act (42 USC Section 9601 *et seq.* as amended), or under the Michigan Natural Resources and Environmental Protection Act (1994 PA 451, as amended).

d. **Tax Assessment.** The Property is free from all special taxes or assessments.

e. **Pending Assessments and Condemnation Proceedings.** There are no pending or threatened special assessments or condemnation or eminent domain proceedings which would affect the Property, or any part of the Property.

8. **Seller's Covenants.** Seller agrees that between the date of this Agreement and the Closing Date:

a. **Accuracy of Warranties.** Seller shall restate the representations and warranties stated above by delivering on the day of Closing an affidavit of representations and warranties to Purchaser that the statements contained in Section 7 above are true and correct as of the date of Closing.

b. **Compliance of Improvements and Real Property.** Seller shall reasonably assist Purchaser in its efforts to obtain satisfactory evidence that the Property meets and complies with all deed restrictions, restrictive covenants, building, zoning and environmental laws and any other covenants, restrictions or regulations, if any, affecting

the Property.

9. **Conditions Precedent to Closing.** Anything to the contrary in this Agreement notwithstanding, the obligation of Purchaser to consummate the Closing of this transaction is subject to and conditioned on the satisfaction to Purchaser in its sole discretion at or prior to Closing of the following conditions precedent:

- a. **Performance by Seller.** The full and complete performance by Seller of each and every agreement and covenant contained in this Agreement and required of Seller.
- b. **Successful Rezoning.** The approval for the rezoning of the Property to Purchaser's satisfaction for the Purchaser's intended use as a County Jail and Sheriff's Office.
- c. **Financing.** The Purchaser securing 40-year financing and receipt of the proceeds of such financing.
- d. **Voter Approval on Referendum.** Voter approval of the Purchaser's financing upon any referendum on the financing for the purchase of the Property.
- e. **Engineering Survey.** The Purchaser receiving, at its own expense, an engineering survey to Purchaser's satisfaction from Rowe Engineering.

10. **Inspection of Property.** Purchaser shall, at all reasonable times prior to the Closing Date, have the privilege of going on the Property with its agents, representatives and contractually retained independent contractors as needed to inspect, examine, test, appraise and survey the Property. This privilege shall include the right to make surveys, examinations, appraisals and other tests to obtain any relevant information necessary to determine subsurface and topographic conditions, including, but not limited to, toxic and hazardous materials and substances studies and soil tests, including soil and other subsurface borings and investigation of the Property. All of these tests, studies and reviews shall be performed at Purchaser's sole cost and expense and shall be conducted within forty-five (45) days from the date of this Agreement.

The Purchaser agrees and acknowledges that it is responsible for making, and has been granted the opportunity to make all investigations (above ground and below ground) deemed necessary by the Purchaser to determine whether the Property (a) contains any toxic or hazardous wastes or materials (as defined or regulated by Federal, State, or local laws) or adverse conditions, (b) is in satisfactory condition, and (c) is suitable for the Purchaser's intended use; that the Seller has made no representations or warranties of any kind with regard to the condition (above ground or below ground) of the Property, that it is purchasing the Property "as is" and that it waives any right to bring any claim against

the Seller of any nature whatsoever with regard to the condition of the Property. Notwithstanding any other provision of this Agreement to the contrary, if Purchaser determines in its sole discretion that the Property is not suitable for its needs and intended use, it may terminate this Agreement at any time before the Closing Date, and the Earnest Money shall be refunded to Purchaser.

11. **Risk of Loss.** If all or a material part of the Property is damaged or destroyed through no fault of the Purchaser and such damage or destruction occurs prior to the transfer of legal title or Purchaser's possession of the Property, Seller shall not be entitled to enforce the Agreement and Purchaser shall be entitled to recover any and all portions of the Purchase Price and Earnest Money paid to Seller.

12. **Condemnation.** In the event that prior to the Closing Date any proceeding in condemnation, eminent domain or any written request for a conveyance in lieu of such an event shall be instituted against the Property, or should Seller receive notice that such proceedings have been commenced against any portion of the Property (such condemnation, eminent domain, conveyance and proceedings are collectively referred to below as "condemnation proceedings"), Seller shall give written notice (referred to as "Seller's Condemnation Notice") of condemnation proceedings to Purchaser. Purchaser shall have the right to terminate this Agreement by written notice to Seller received within fourteen (14) days after the receipt of Seller's condemnation notice, in which event Escrow Agent shall promptly refund the Earnest Money and accrued interest to Purchaser, and thereafter neither party shall have any further rights, obligations or liabilities under this Agreement, except to the extent that any right, obligation or liability expressly survives termination of this Agreement.

In the event that Purchaser elects not to terminate this Agreement pursuant to this section, Purchaser may close the purchase and sale contemplated by this Agreement as scheduled, less that portion of the adjustment of the Purchase Price, and Seller shall assign to Purchaser at Closing all of Seller's right, title and interest in any award payable on account of condemnation proceedings.

13. **Default.**

a. **Purchaser's Default.** In the event that Purchaser defaults in the observance or performance of its covenants and obligations under this Agreement, and default continues for five (5) consecutive days after the date of written notice from Seller demanding cure of the default, Seller shall be entitled to terminate this Agreement (except to the extent that any right, obligation or liability expressly survives termination of this Agreement) by written notice to Purchaser of such termination, and shall also be entitled, as its sole and exclusive additional remedy under this Agreement to receive payment of the Earnest Money, with accrued interest, from Escrow Agent as full liquidated damages for the default of Purchaser.

b. **Seller's Default.** In the event that Seller defaults in the observance or performance of their covenants and obligations under this Agreement, and default continues for five (5) consecutive days after the date of written notice from Purchaser demanding cure of the default, Purchaser shall be entitled to terminate this Agreement (except to the extent that any right, obligation or liability expressly survives termination of this Agreement) by the delivery to Seller of notice of such termination, and to receive from Escrow Agent immediate payment of the Earnest Money, with accrued interest, and shall also be entitled, as additional remedies under this Agreement, to sue Seller for specific performance of this Agreement, or to sue for and receive from Seller damages in an amount equal to Purchaser's out-of-pocket expenses in connection with the transaction.

14. **Damages.** Seller and Purchaser acknowledge and agree that actual damages in any event of default, as set forth in Section 13 above, are uncertain in amount and difficult to ascertain and that the liquidated damages in Section 13 a. above have been reasonably determined by the parties.

15. **Broker.** Each party represents to the other that he or she has not incurred any obligation to any broker or real estate agent with respect to the purchase or sale of the Property.

16. **General Provisions.**

a. **Agreement Binding.** This Agreement shall be binding on each party and each party's successors and assigns, and shall inure to the benefit of each party and each party's successors and permitted assigns.

b. **Entire Agreement.** This Agreement contains the entire agreement of the parties with respect to the matters contained in this instrument, and no prior agreement or understanding pertaining to any of the matters connected with this transaction shall be effective for any purpose. Except as may be otherwise provided in this instrument, the terms embodied in this Agreement may not be amended except by an agreement in writing signed by the parties to this Agreement.

c. **Time is of the Essence.** Time is of the essence of the transaction contemplated by this Agreement.

d. **Survival.** All covenants, agreements, representations and warranties contained in this Agreement shall survive termination of this Agreement prior to the Closing Date (except for the agreements to purchase and sell the Property) and shall survive Closing.

e. **Date of this Agreement.** All references in this Agreement to "the date of this Agreement" shall be deemed to refer to the date Purchaser receives a fully executed original of this Agreement from Seller, as indicated by Purchaser on the first page of this

Agreement.

f. **Further Assurances and Survival.** Seller agrees to execute and deliver to Purchaser any further documents or instruments as may be reasonable and necessary in furtherance of the performance of the terms, covenants and conditions of this Agreement. This covenant shall survive the Closing of this purchase and sale.

17. **Notices.** All notices, consents, approvals and other communications which may be or are required to be given by either Seller or Purchaser under this Agreement shall be properly given only if made in writing and sent by (a) hand delivery or (b) certified mail, return receipt requested, with all postage and delivery charges paid by the sender and addressed to the Purchaser or Seller, as applicable, as follows, or at any other address as each may request in writing. Notices delivered by hand shall be deemed received on the date of delivery to the addressee and, if mailed, shall be deemed received on the earlier of actual receipt or three (3) days after mailing. The notice addresses are as follows:

If to Seller: Bader & McDonald, LLC
1720 E. Pickard Rd.
Mt. Pleasant, MI 48858

If to Purchaser: Isabella County Administrator/Controller
200 N. Main St., Suite 205
Mt. Pleasant, MI 48858


18. **Counterparts.** This agreement may be executed in counterparts with the counterparts, when taken together, constituting an original document.

[Signatures on following page]

IN WITNESS WHEREOF, Seller and Purchaser have executed this Purchase and Sale Agreement effective on the day and year first written above.

"PURCHASER"

ISABELLA COUNTY, a Michigan political subdivision

By: 
James H. Horton, II, Chairperson
Its: County Board of Commissioners
Dated: 4/30/2021

"SELLER"

BADER & McDONALD, LLC, a Michigan limited liability company

By: Mark F. McDonald
Its: Manager
Dated: 4/30/2021

EXHIBIT "A"
Legal Description of Property

Two (2) parcels of real property situated in the Township of Union, Isabella County, Michigan, described as:

Parcel 1

The North ½ of the NW ¼ of Section 24, T14N, R4W, EXCEPT the South 120 feet of the West 200 feet, AND EXCEPT the US-27 (now US-127) right of way, AND EXCEPT the West 31 acres thereof,

Containing 39.18 acres more or less,
Commonly known as E. Remus Rd., Mt. Pleasant, MI 48858
Tax Parcel ID No. 14-024-10-001-02.

and

Parcel 2

The North 7 rods of the South ½ of the Northwest ¼ of Section 24, T14N, R4W, Union Township, Isabella County, Michigan, except Highway US-27 (now US -127); and except the West 292 feet thereof, Together with an easement along the South 16 feet of the West 292 feet of the North 7 rods of the South ½ of the Northwest ¼ of said Section 24, Union Township, Isabella County, Michigan.

Containing 5.4 acres, more or less.
Commonly known as S. Isabella Rd., Mt. Pleasant, MI 48858.
Tax Parcel ID No. 14-024-10-003-00.

The two combined parcels shall hereafter be commonly known as:
5270 E. Remus Rd., Mt. Pleasant, MI 48858

Isabella County Contact for Execution of Union Township PSPR/SUP Application:

Margaret M. McAvoy

Isabella County Administrator

mmcavoy@isabellacounty.org

Cell: (989) 621-7352

PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	June 3, 2021
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	R2-A, One- and Two-Family District
PROJECT:	PSPR 21-12 Preliminary Site Plan Application for the new Isabella County Jail and Sheriff’s Office.		
PARCELS:	PID 14-024-10-001-02 & -003-00		
OWNER(S):	Isabella County (purchase agreement); Bader & McDonald LLC		
LOCATION:	Approximately 44.58 acres on the south side of E. Remus Rd. in the NW 1/4 of Section 24.		
EXISTING USE:	Vacant; primarily open farmland with some woodlands to the south	ADJACENT ZONING:	R-4 (Mobile or Modular Home District), B-4 (General Business), R-2A, and the US-127 right-of-way.
FUTURE LAND USE DESIGNATION: Residential areas are intended to “promote single-family homes on a variety of lot sizes.”			
ACTION REQUESTED: To review the PSPR 21-12 preliminary site plan dated May 11, 2021 for the new Isabella County Jail and Sheriff’s Office located on the south side of E. Remus Rd. east of S. Isabella Rd. in the NW quarter of Section 24 and in the R2-A (One- and Two-Family) District.			

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary and final site plan approvals are required for this project. Per Section 14.2.J., preliminary site plan approval by the Planning Commission “shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.” Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

- Section 14.2.P. (Required Site Plan Information).** The site plan substantially conforms to the minimum Section 14.2.P. information requirements for a preliminary site plan. The following details and corrections will need to be addressed on the final site plan:

Missing Preliminary Site Plan Information	
Correct sheet C200 to show the 5.40-acre parcel ID number as "14-024-10-003-00."	<input type="checkbox"/>
Correct the height reference in the Perimeter Fencing at Employee Parking Area Detail on sheet AS1-0 to specify six (6) feet.	<input type="checkbox"/>
Correct the general layout of the internally looped water main on sheets C200 and C201 to add the missing service lead into the building.	<input type="checkbox"/>
Add a Table of Contents to the cover sheet listing all of the sheets in the site plan set.	<input type="checkbox"/>

2. **Section 8 (Environmental Performance Standards).** The applicant has confirmed on the completed Hazardous Substances Reporting Form that no hazardous substances are expected to be used, stored or generated on-site.

3. **Section 7.10 (Sidewalks and Pathways).** The applicant has proposed to provide a new public sidewalk along the western portion of the site's frontage along E. Remus Rd. up to and across their west driveway entrance, along with a new internal sidewalk into the site to the public building entrance. The following sidewalk details will need to be addressed by the applicant on the final site plan submittal:
 - Widen the internal sidewalks abutting parking spaces to a minimum of seven (7) feet to accommodate vehicle overlap, and add the dimension to the final site plan.
 - Widen all other proposed sidewalks to a minimum of five (5) feet to better accommodate barrier free accessibility and seasonal maintenance.
 - Show the public sidewalk on the final site extending across the entire E. Remus Rd. frontage per the Sidewalk and Pathway Ordinance No. 2009-03, and identify any portion of this additional public sidewalk for which temporary relief from construction is desired.
 - Add a written request for temporary relief from sidewalk construction on the final site plan for the identified portion of additional public sidewalk, with the specific reasons for relief noted consistent with the Township's adopted policy, which can be found on the Township's website under *Departments: Zoning and Planning Services*.

4. **Section 3.6. – Dimensional Standards.** The proposed building conforms to the 35-foot maximum height requirement, and the perimeter yard setback dimensions on the site plan conform to the minimum requirements of the R2-A District.

5. **Section 9 (Parking, Loading, and Access Management).** The parking calculations and arrangement of proposed parking and loading facilities on the site plan generally conform to the requirements of Section 9. The following details will need to be addressed by the applicant on the final site plan:
 - Add the required bicycle parking facilities for visitors and employees per the requirements of Section 9.1.C.5. (Bicycle Parking).
 - Correct the "professional office space" calculation as needed to clarify or remove the reference to a 7,874 square-foot space in the building that is not otherwise called out on the conceptual floor plans or the Building Height and Area table on the cover sheet.

Additional Comments for Preparation of the Final Site Plan

6. **Paving of E. Remus Rd.** Just over 1,000 linear feet of new road paving is proposed to be completed within the E. Remus Rd. right-of-way to accommodate vehicular access to the new facility. Beyond the new end of pavement would remain about 500 feet of unimproved road with a poorly defined turnaround area adjacent to US-127. The following paving-related details will need to be addressed on the final site plan:
- Clarify the multiple references to “HMA” by spelling it out in the title of the legend at the top of sheet C201 as “Hot Mix Asphalt (HMA) Pavement Legend.”
 - For public safety purposes, staff recommends that the paving of E. Remus Rd. be completed to the east across the entire frontage of this project. This would include provisions for a modern paved turnaround area designed to accommodate safe maneuvering of fire trucks. At a minimum, if additional HMA paving is not feasible, the 500 feet of unimproved roadway will need to be shown on the final site plan to be updated per current county Road Commission gravel road requirements to provide a durable two-way driving surface and shoulders, effective roadway and roadside drainage, and a modern gravel turnaround area suitable for fire trucks.
7. **Section 8.2. - Exterior Lighting.** Exterior lighting details are not required until the final site plan stage, but the applicant has provided some information for review. The exterior lighting information is sufficient for preliminary site plan approval, but the following details will need to be addressed by the applicant on the final site plan:
- Add an elevation drawing of the proposed pole lighting to the photometric plan showing the full height above grade, which will need to conform to Section 8.2.E. (Height).
 - Add the manufacturer’s specifications and a picture or drawing of each fixture type to the photometric plan, along with a fixture schedule.
 - Coordinate the photometric plan sheet numbering with the remainder of the plan set for ease of referencing (such as L100, L101, etc.).
8. **Section 10. – Landscaping and Screening.** A detailed landscape plan is not required until the final site plan stage, but the applicant has chosen to provide some information for review. The plan on sheet LP1-0 shows the general layout of various plantings. The following comments are intended to guide preparation of the final landscape plans:
- A complete schedule of plantings detailing amounts, species, and size at planting will be required as part of the final site plan submittal, along with groundcover seed mixes and plant material installation details.
 - Where existing woodlands around the south side of the site are intended to provide part of the required screening, add a delineation of the locations and a more detailed description of the height and character of these natural features on the updated landscape plan, along with indications of features to be preserved, removed, or altered as required per Section 14.02.P.

- ❑ Adjust the number and arrangement of evergreen tree plantings around portions of the retention basin to be more fully consistent with the requirements of Section 10.2.E. Staff recommends that these headlight glare mitigation plantings be moved entirely to the area along the west, north, and south sides of the basin to facilitate snow storage into the east side of the basin. This will require a modest adjustment to the basin location or configuration to provide additional space along the east side lot boundary for the two overlapping staggered rows.
 - ❑ Additional separation distance is needed between the evergreen tree plantings and the adjacent farmfield to avoid conflicts with potential future applications of agricultural herbicides. Staff recommends that a landscape architect with experience in this area be consulted for the preparation of the final landscape plans to minimize conflicts and the need to repeatedly replace damaged trees in the future, as would otherwise be required per Section 10.5.F. of the Zoning Ordinance.
 - ❑ Adjust the proposed plantings as needed to minimize conflicts between anticipated patterns of snow plowing and the landscaping and screening improvements.
9. **Outside agency approvals.** The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. These approvals include the State of Michigan, Mt. Pleasant Fire Department, Township Public Services Department, Isabella County Road Commission, Isabella County Transportation Commission, and Storm Water approval from the Isabella County Drain office. Copies of all outside agency permits and approval letters will need to be submitted to Peter Gallinat, Zoning Administrator prior to or as part of the final site plan submittal.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

The site plan as presented conforms to the minimum Section 14.2.P. information requirements for a preliminary site plan. With the exception of details that can be addressed on the final site plan, the site plan as presented conforms to the standards for preliminary site plan approval found in Section 14.2.S. (Standards for Site Plan Approval).

Recommendations

No formal action should be taken on this application until after a public hearing has been held and the Planning Commission has taken action to make recommendations to the Board of Trustees for the associated PSUP 21-01 special use permit application.

Based on the above findings and following the required public hearing, I would have no objection to a Planning Commission action to approve the PSUP 21-12 preliminary site plan dated May 11, 2021 for the new Isabella County Jail and Sheriff's Office located on the south side of E. Remus Rd. east of S. Isabella Rd. in the northwest quarter of Section 24 and in the R2-A (One- and Two-Family) District, subject to the following conditions:

1. Preliminary site plan approval is contingent upon Board of Trustees final approval of the PSUP2 21-01 special use permit for this project.
2. Provide all items of required information on the final site plan per Section 14.2.P.
3. Revise the off-street parking, screening, exterior lighting, and sidewalk details on the final site plan as necessary for compliance with Township ordinance requirements.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

**Draft Motions: PSPR 21-12 Isabella County Jail and Sheriff's Office
Preliminary Site Plan Review Application**

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 21-12 preliminary site plan from Isabella County for the new Isabella County Jail and Sheriff's Office on approximately 44.58 acres of land (parcel numbers 14-024-10-001-02 & -003-00) on the south side of E. Remus Rd. in the northwest quarter of Section 24 and in the R2-A (One- and Two-Family) zoning district, finding that the May 11, 2021 site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Preliminary site plan approval is contingent upon Board of Trustees final approval of the PSUP2 21-01 special use permit for this project.
2. Provide all items of required information on the final site plan per Section 14.2.P.
3. Revise the off-street parking, screening, exterior lighting, and sidewalk details on the final site plan as necessary for compliance with Township ordinance requirements.

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 21-12 preliminary site plan from Isabella County for the new Isabella County Jail and Sheriff's Office on approximately 44.58 acres of land (parcel numbers 14-024-10-001-02 & -003-00) until _____, 2021 for the following reasons:

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 21-12 preliminary site plan from Isabella County for the new Isabella County Jail and Sheriff's Office on approximately 44.58 acres of land (parcel numbers 14-024-10-001-02 & -003-00) on the south side of E. Remus Rd. in the northwest quarter of Section 24 and in the R2-A (One- and Two-Family) zoning district, finding that the May 11, 2021 site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union


APPLICATION FOR SPECIAL USE PERMIT APPROVAL

A completed application will contain all information required per the Zoning Ordinance, Section 14.3 (Special Use Permits); and be accompanied by a separate minor site plan or preliminary site plan application per Section 14.02.C. (Site Plan Approval Required).

- Minor Site Plan
 Preliminary Site Plan

Name of Proposed Development/Project	KRIST FOOD MART		
Common Description of Property & Address (if issued)	SOUTHEAST CORNER OF E. PICKARD ROAD AND S. ISABELLA ROAD. 4972 E. PICKARD ROAD MOUNT PLEASANT, MI 48858		
Applicant's Name(s)	KSK, INC.		
Phone/Fax numbers	906.367.2576	Email	kristo@kristoil.com
Address	316 IRIS STREET	City:	IRON RIVER, MI Zip: 49935

Legal Description:	<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	SEE ATTACHED
Existing Zoning:	B-7	Land Acreage:	3.28	Existing Use(s): VACANT/RESIDENTIAL
<input checked="" type="checkbox"/> ATTACHED: Letter describing the proposed use and how it conforms to Section 14.3.J. (Standards for Special Use Approval)				

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: CRAIG RICHARDSON Phone: 906.284.3903 Email: ardson@geiconsultants
	2. Address: 990 LALLEY ROAD City: IRON RIVER State: MI Zip: 49935 Contact Person: CRAIG RICHARDSON Phone: 906.284.3903
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: JAMES ENGLER, MICHIGAN RESERVES INC. Phone: 989.330.2473 Address: PO BOX 329 City: MT. PLEASANT State: MI Zip: 48858 Signature:  Interest in Property: VICE - PRESIDENT
	2. Name: JAMES ENGLER Phone: 989 330 2473 Address: 2303 AMBER LN. City: MT. PLEASANT State: MI MI Zip: 48858 Signature: _____ Interest in Property: _____

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information may be cause for revocation of the special use permit approval. Approval of the requested special use shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



5/20/21

Signature of Applicant

Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Planning Commission– Standards for Special Use Approval (Section 14.3 - J)
Krist Oil Company, Inc.
Proposed Krist Food Mart
4972 E. Pickard Road, Union Township, Michigan

1. The proposed Food Mart is an Automobile Filling Station – Gas Station which in the area zoned B-7 (Retail and Service Highway Business District) requires a Special Use Permit.
2. The location, design, activities, processes, materials, equipment, and operational conditions of the proposed Food Mart **WILL NOT** be hazardous, detrimental, or injurious to the environment or the public health, safety, or general welfare of the area. Krist Oil Company will follow the local/state design and construction requirements. Ensuring that no harm will be done to the public or the environment.
3. The proposed Food Mart **WILL** be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Krist Oil Company Inc. **HAS** provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts. Krist Oil intends on providing landscape screening on all four sides of the property. Hence assisting with the minimization of noise being heard from the property as well as providing an aesthetically pleasing site.
4. The proposed Food Mart’s location and character **IS** consistent with the general principles, goals, objectives, and policies of the adopted Master Plan. The proposed landscaping, architecture, and equipment screening for the site is in line with what is required in the “Retail/Service Design Guidelines” of the Master Plan.
5. The proposed Food Mart **CONFORMS** to all applicable requirements or standards of this Ordinance or other Township ordinances.
6. Approval of the proposed Food Mart **WILL NOT** result in a small residential or non-residential area being substantially surrounded by incompatible uses. The design of the site promotes inclusion of the surrounding areas through establishing new sidewalks and accesses to the site.
7. The proposed Food Mart **WILL NOT** exceed the existing or planned capacity of public or municipal services or infrastructure. Additionally, the proposed Food Mart **WILL NOT** create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.

**Planning Commission– Application Attachment Information
Krist Oil Company, Inc.
Proposed Krist Food Mart
4972 E. Pickard Road, Union Township, Michigan**

Firm or Individual Who Prepared Site Plan Email: crichardson@geiconsultants.com

Tax Parcel ID Numbers: 14-014-20-002-00, 14-014-20-003-00, 14-014-20-004-00, 14-014-20-007-00, 14-014-20-008-00, 14-014-20-009-00



Consulting
Engineers and
Scientists

May 21, 2021

Project 1509480

Mr. Rodney Nanney, Community and Economic Development Director
Charter Township of Union
2010 South Lincoln Road
Mount Pleasant, MI 48858

RE: Krist Oil Company – Proposed Development at 4972 E. Pickard Road

Dear Mr. Nanney:

On behalf of Krist Oil Company, Inc. (Krist Oil), GEI Consultants of Michigan, P.C. (GEI) is hereby submitting the following documents for consideration by the Charter Township of Union for the proposed development at 4972 E. Pickard Road.

- Preliminary Site Plan Review and Special Use Permit Application with Attachments
 - Detailed Use Statement
 - Standards for Special Use Approval
 - Application Attachment Information

- Preliminary Site Plan Review Drawings
 - Full Size – 1 copy
 - 11 x 17 – 11 copies
 - Digital – 1 copy

We look forward to discussing the proposed development with Charter Township of Union. Please do not hesitate to contact me at (906) 214-4151 or crichardson@geiconsultants.com if you have any questions or require additional information.

Sincerely,

GEI CONSULTANTS OF MICHIGAN, P.C.

A blue ink signature of Craig A. Richardson, consisting of a stylized first name and a more formal last name.

Craig A. Richardson, P.E.
Senior Project Manager

A blue ink signature of John Reck, written in a cursive style.

John Reck
Project Engineer

cc: Krist Atanasoff, Krist Oil Company
File 1509480

CAR/JRR:plw

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KRIST OIL COMPANIES

KRIST FOOD MART

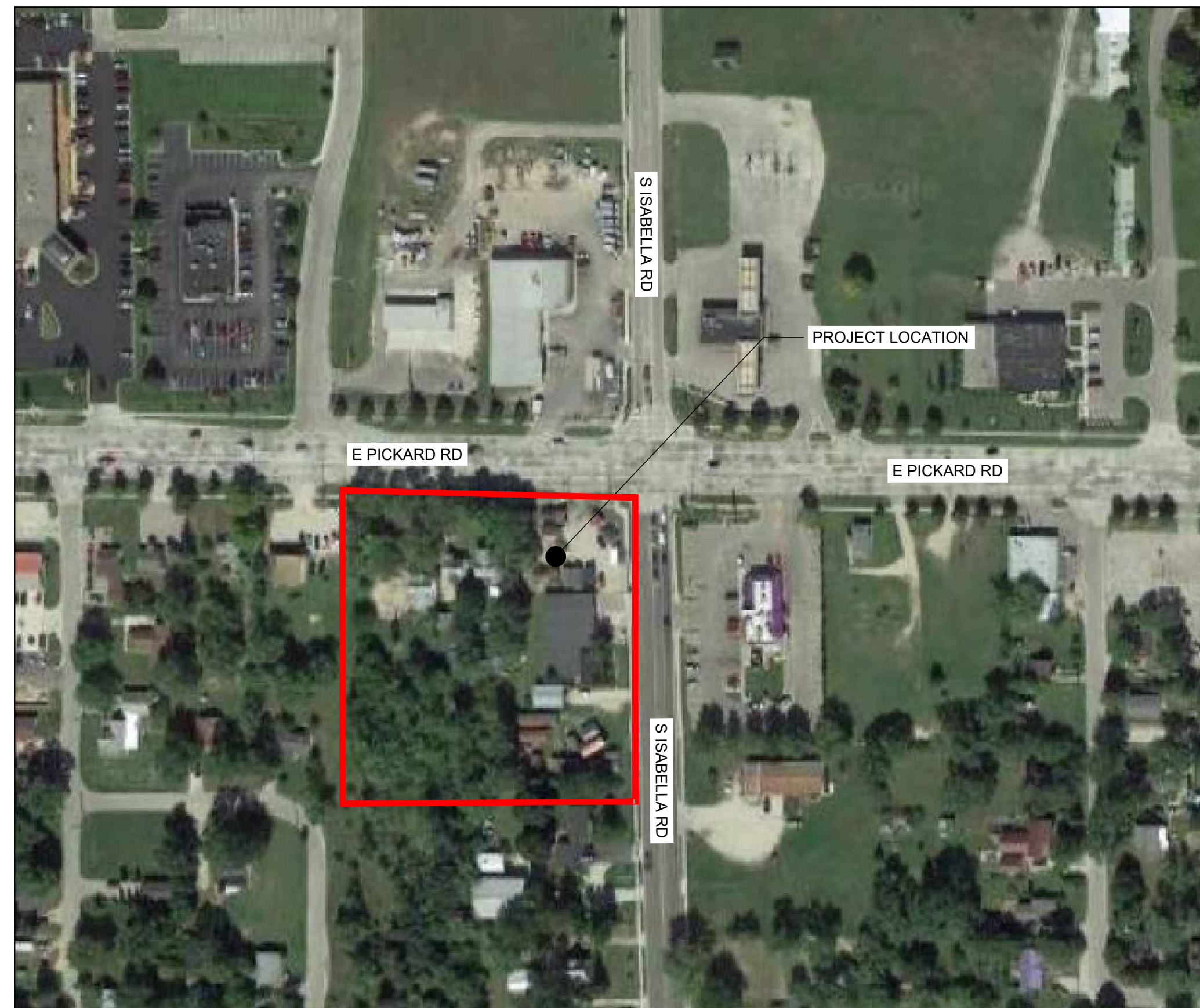
4972 E. PICKARD ROAD

14-014-20-002-00, 14-014-20-003-00, 14-014-20-004-00

14-014-20-007-00, 14-014-20-008-00, 14-014-20-009-00

UNION TOWNSHIP, MICHIGAN

GEI PROJECT NO.: 1509480



Sheet No.	Drawing No.	Description
1	01-G-01	COVER SHEET
2	02-C-01	EXISTING CONDITIONS PLAN
3	02-C-02	SITE PLAN
4	02-C-03	GRADING PLAN
5	02-C-04	ADJACENT PROPERTY OWNER INFORMATION
6	02-A-01	BUILDING ELEVATIONS
7	02-A-02	CANOPY ELEVATIONS AND SIGN DETAILS
8	02-L-01	LANDSCAPE PLAN
9	02-L-02	PLANT LISTS & DETAILS
10	99-D-01	STANDARD DETAILS
Appendix		
		EXISTING TOPOGRAPHY
		EASEMENT SHEET
		CONTECH DETAILS - NORTH DETENTION
		CONTECH DETAILS - SOUTH DETENTION

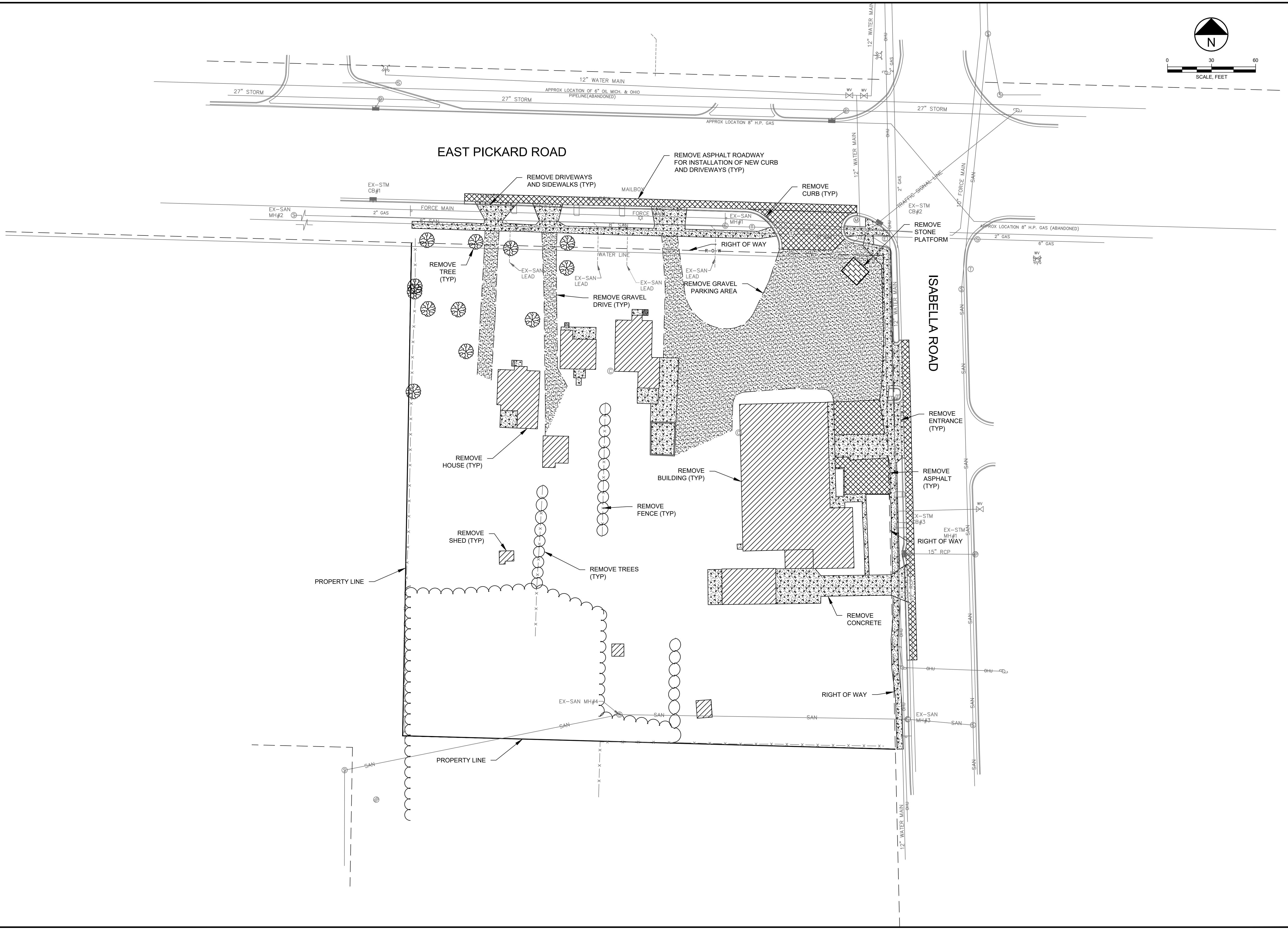
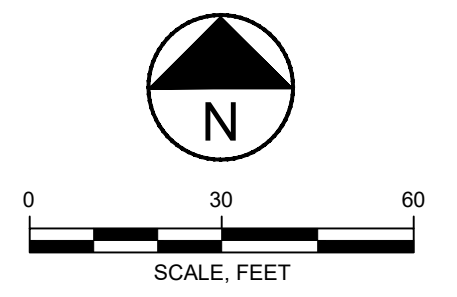
KRIST OIL COMPANIES
KRIST ATANASOFF
303 SELDEN ROAD
IRON RIVER, MI 49935
906.265.6144

GEI CONSULTANTS OF MICHIGAN, P.C.
CRAIG A. RICHARDSON, P.E.
990 LALLEY ROAD
IRON RIVER, MI 49935
906.214.4151

DESCRIPTION PREPARED:
 A PARCEL OF LAND IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N.-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION; THENCE S.01°-23'-34"E., ON AND ALONG THE EAST LINE OF SAID SECTION, 396.51 FEET; THENCE N.88°-26'-02"W., PARALLEL WITH THE NORTH LINE OF SAID SECTION, 368.78 FEET; THENCE N.01°-01'-58"E., ON A PREVIOUSLY SURVEYED AND DESCRIBED LINE, 396.00 FEET; THENCE S.88°-26'-02"E., ON AND ALONG SAID NORTH SECTION LINE, 352.00 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 3.28 ACRES OF LAND AND BEING SUBJECT TO HIGHWAY USE OF THE NORTHERLY 60.00 FEET AND THE EASTERLY 33.00 FEET THEREOF AND ALSO BEING SUBJECT TO AND TOGETHER WITH ANY OTHER EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY RECORD.

				DWG. NO.
				01-G-01
				REV
				0
				ARCHIVE #
	05/17/2021	PRELIMINARY		

K:\Virt_01\1509480-Master_Services_Agreement\1015_ML_Present_East\CAD\DESIGN\Site Plan Package\1509480 - 1015_ML_PLEASANT_EAST_SITE_EXISTING_COND_040221.dwg; 5/17/2021 8:28:45 AM; RECK, JONN, GEI.tlb



Krist Food Mart
East Pickard Rd. and South Isabella Rd.
Union Township, MI
Krist Oil Companies
303 Seiden Road
Iron River, MI 49935

**EXISTING CONDITIONS
AND REMOVAL PLAN**

Attention:
0 1" = 1' = 120"
If this scale bar does not
measure 1" then drawing is
not original scale.

05/17/2021
PRELIMINARY

Designed By: JRR
Checked By: CAR
Drawn By: JRR
Approved By: CAR

GEI PROJECT: 1509480

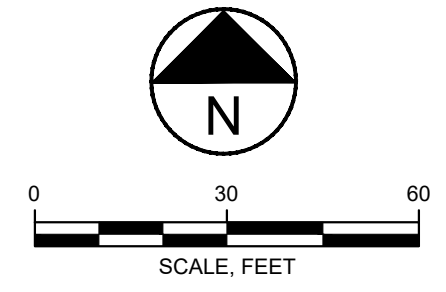
DWG. NO.
02-C-01
SHEET 2
ARCHIVE

APPLE LP MILLER
 5084 EXCHANGE DR.
 FLINT, MI 48507
 B-5 HIGHWAY BUSINESS DISTRICT

LIBREN MANAGEMENT LLC
 4995 E PICKARD ST.
 MOUNT PLEASANT, MI 48858
 B-6 AUTO-RELATED HIGHWAY BUSINESS DISTRICT

LIBREN MANAGEMENT LLC
 5560 S SHEPHERD RD.
 SHEPHERD, MI 48883
 B-6 AUTO-RELATED HIGHWAY BUSINESS DISTRICT

RI CS4
 11995 EL CAMINO REAL
 SAN DIEGO, CA 92130
 B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT



JACK LOEKS THEATRES INC.
 2121 CELEBRATION DR. NE
 GRAND RAPIDS, MI 49525
 B-5 HIGHWAY BUSINESS DISTRICT

EAST PICKARD ROAD

Krist Food Mart
 East Pickard Rd. and South Isabella Rd.
 Union Township, MI
 Krist Oil Companies
 303 Selden Road
 Iron River, MI 49935

RICHARD ANDERSON
 5065 DAKOTA DR.
 WEIDMAN, MI 48893
 B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT

JEDS PROPERTIES INC.
 471 CEDAR DR.
 MOUNT PLEASANT, MI 48858
 B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT

ADJACENT PROPERTY OWNER INFORMATION

ROXANNE POLLARD
 2095 YATS DR.
 MOUNT PLEASANT, MI 48858
 R-2B ONE AND TWO FAMILY DISTRICT

MICHIGAN RESERVES INC.
 PO BOX 329
 MOUNT PLEASANT, MI 48804
 B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT

JOE FOLTZ
 2094 S. ISABELLA RD.
 MOUNT PLEASANT, MI 48858
 B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT

A&G FLOORS INC.
 1970 AIRWAY DR.
 MOUNT PLEASANT, MI 48858
 B-7 RETAIL AND SERVICE HIGHWAY BUSINESS DISTRICT

Attention: 1"
 If this scale bar does not measure 1" then drawing is not original scale.

05/17/2021

PRELIMINARY

Designed By: JRR
 Checked By: CAR
 Drawn By: JRR
 Approved By: CAR

GEI PROJECT: 1509480

DWG. NO.
02-C-04

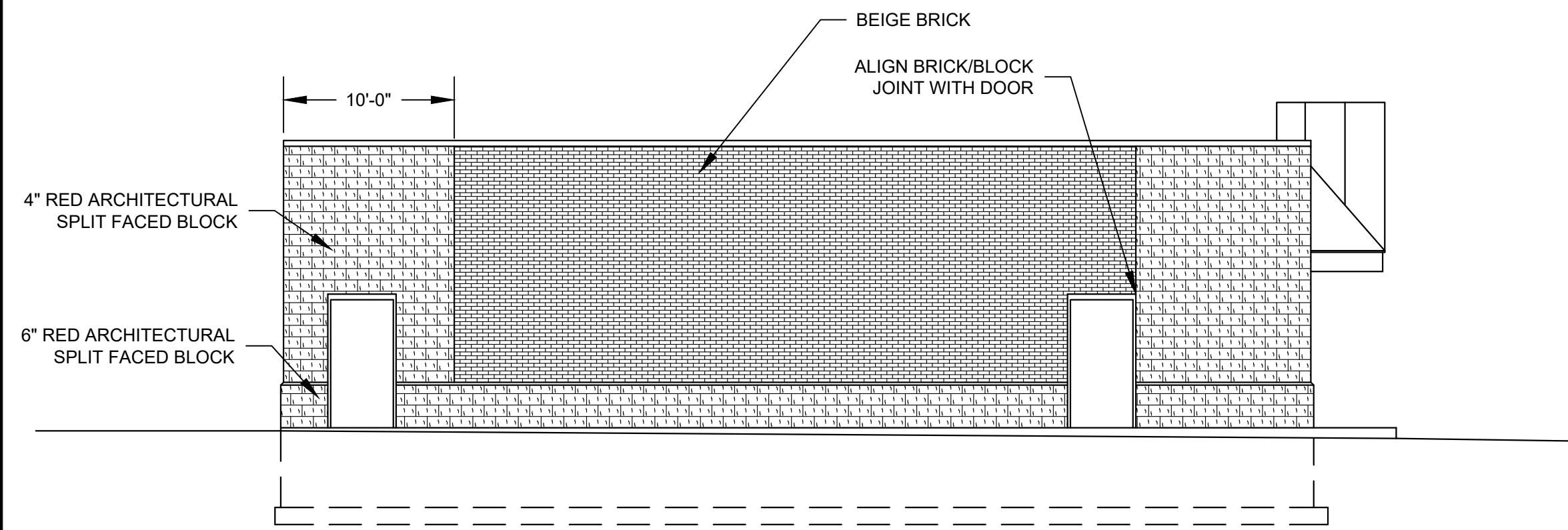
SHEET 5

ARCHIVE

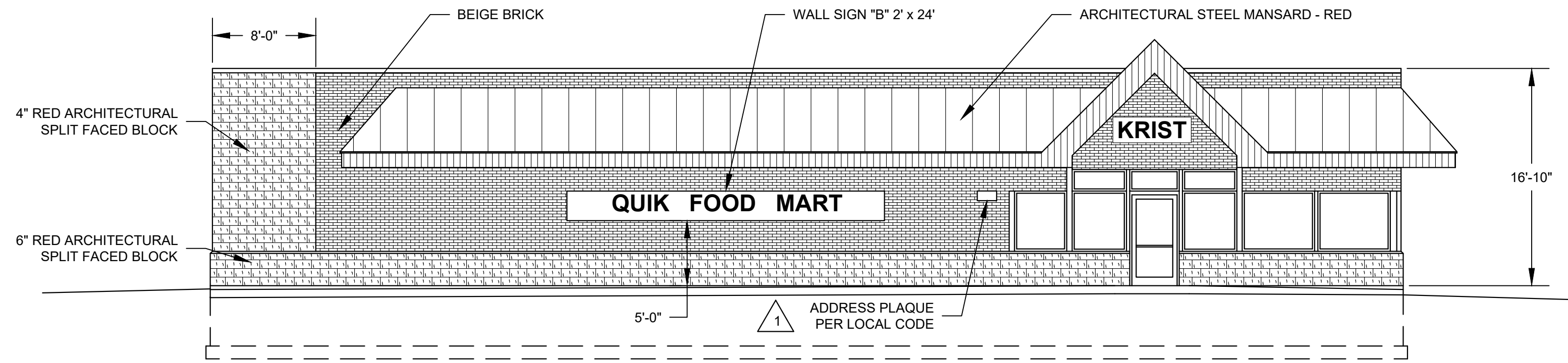
K:\Vital-01\1509480-Inter-Service-Agreement\1015_Mt_Pleasant_East_Design\Site Plan Pedagog\1509480 - 1015_Mt_Pleasant_East_Adjacent_Owner_04022021.dwg 5/17/2021 9:47:04 AM RECK, JOHN; GEI:rb

Krist Food Mart
 East Pickard Rd. and South Isabella Rd.
 Union Township, MI
 Krist Oil Companies
 303 Selden Road
 Iron River, MI 49935

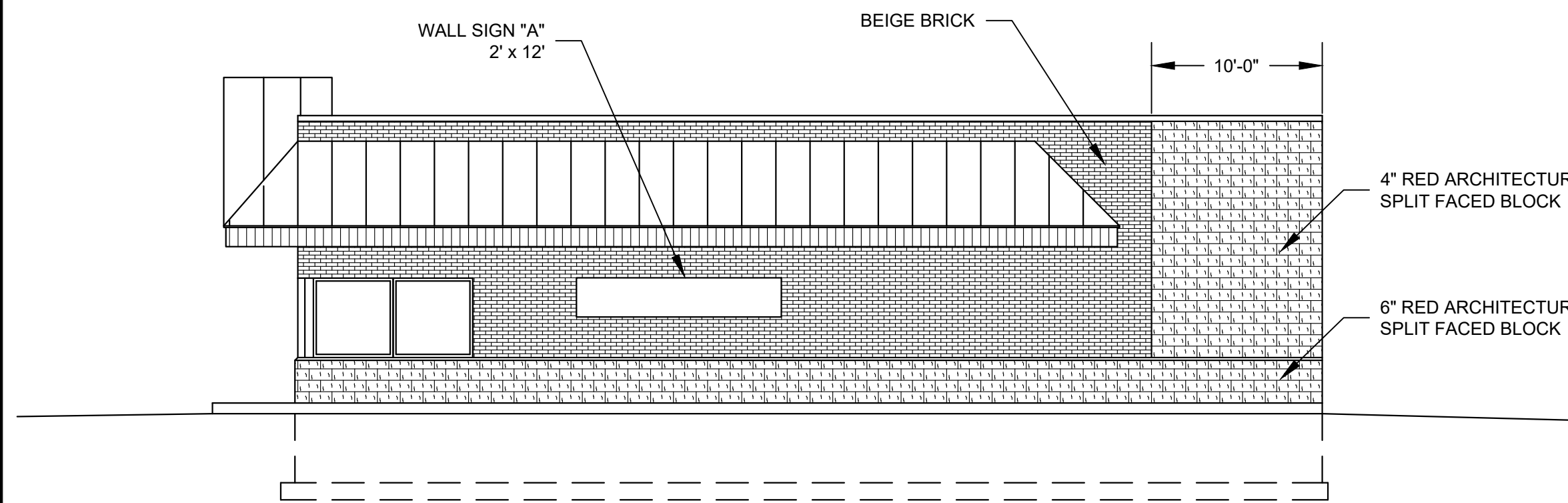
BUILDING ELEVATIONS



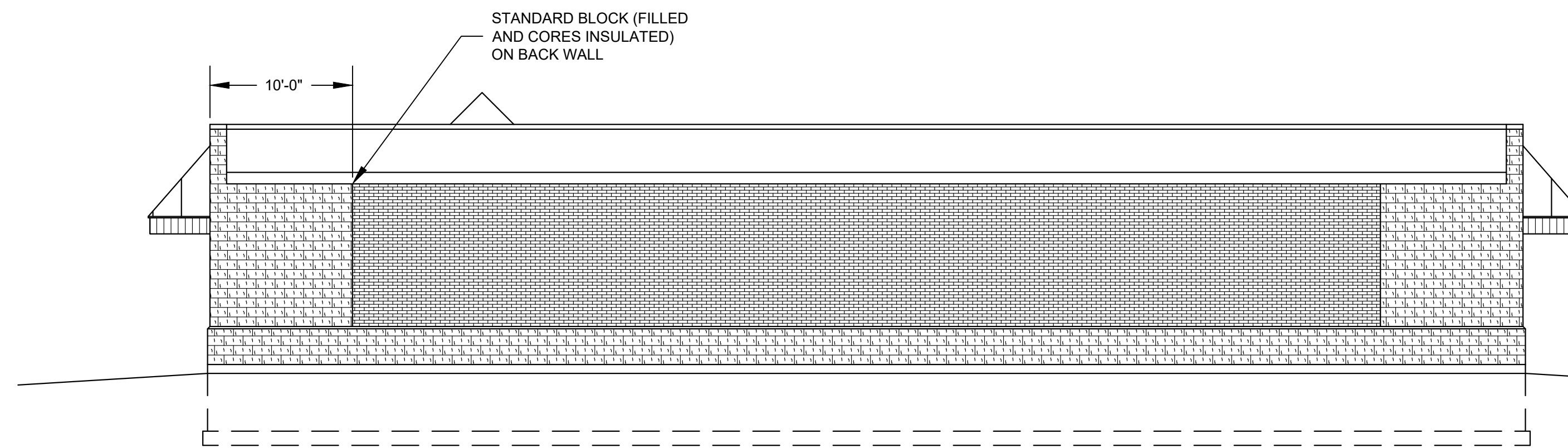
EAST ELEVATION
 SCALE: 1/8" = 1'-0"



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

Attention:
 0 1"
 If this scale bar does not measure 1" then drawing is not original scale.

05/17/2021
 PRELIMINARY

Designed By: JRR
 Checked By: CAR
 Drawn By: JRR
 Approved By: CAR

GEI PROJECT: 1509480

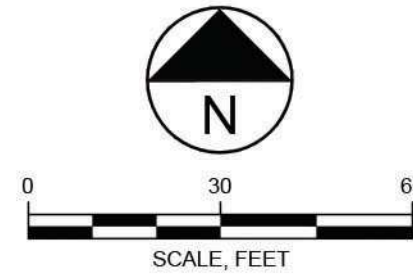
DWG. NO.
02-A-01
 SHEET 6
 ARCHIVE #

LANDSCAPE PLAN NOTES:

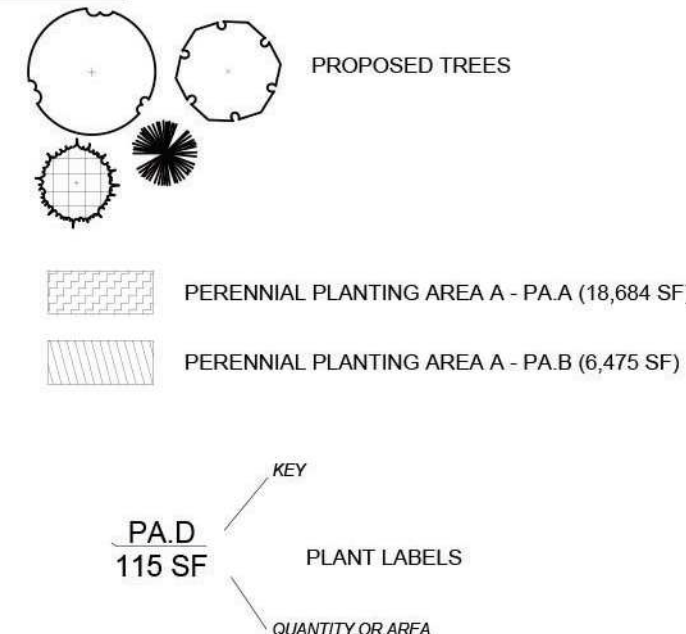
- 1) PLANT MATERIALS SHALL CONFORM TO THE SIZES STATED ON THE PLANT LIST AND SHALL BE OF A MINIMUM SIZE OR LARGER. ALL MEASUREMENTS OF SPREAD, CALIPER, BALL SIZE, TRUNK CROWN RATIO, QUALITY DESIGNATIONS, ETC., SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "ANSI STANDARDS FOR NURSERY STOCK". PLANT MATERIAL SHALL BE NURSERY GROWN AND INSPECTED BY THE OWNER'S REPRESENTATIVE AT THE SITE PRIOR TO PLANTING. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL AT ANY TIME. NURSERY STOCK SHALL BE PREPARED FOR SHIPMENT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT ANSI SPECIFICATION Z60.1 AND SHALL BE ENCLOSED OR COVERED DURING TRANSPORTATION TO PREVENT DRYING.
- 2) THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND PROTECT AND REPAIR UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THE PLANS OR NOT.
- 3) INDIVIDUAL HOLES SHALL BE CENTERED AT STAKED PLANT LOCATIONS. CONTRACTOR IS TO STAKE PRIOR TO PLACEMENT OF PLANT MATERIAL AND OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE. PLANTING HOLES SHALL BE DUG LARGE ENOUGH TO PERMIT PLACING PREPARED TOPSOIL 18" Laterally BEYOND THE ENDS OF THE ROOT BALLS FOR SHADE AND EVERGREEN TREES AND 6" Laterally FOR SHRUBS UNLESS OTHERWISE SPECIFIED. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AT THE TIME THE HOLE IS DUG. THE PLANTING HOLE SHALL BE BACKFILLED WITH PREPARED TOPSOIL THE SAME DAY THEY ARE DUG.
- 4) TOPSOIL SHALL BE A FERTILE, FRIABLE NATURAL TOPSOIL OF LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. TOPSOIL SHALL BE FREE OF CLAY LUMPS, COURSE SAND, STONES, PLANT ROOTS, STICKS OR OTHER FOREIGN MATTER.
- 5) CONTRACTOR SHALL TAKE CARE NOT TO COMPACT SOILS IN PLANTING AREAS. ANY COMPACTED SOILS TO BE SCARIFIED TO A DEPTH OF 8" TO ELIMINATE ANY SOIL COMPACTION CREATED DURING CONSTRUCTION. CONTRACTOR MAY BE REQUIRED TO FURTHER AMEND SOIL IN AREAS WHERE EXCESSIVE COMPACTION HAS OCCURRED.
- 6) PLANTS DESIGNATED "BB" SHALL BE BALLED AND BURLAPPED WITH FIRM NATURAL BALLS OF EARTH. CRACKED, LOOSENEED OR BROKEN BALLS SHALL NOT BE PLANTED. THEY SHALL BE MARKED WITH SPRAY PAINT AND IMMEDIATELY REMOVED FROM THE JOB SITE. IMMEDIATELY FOLLOWING DELIVERY AT THE JOB SITE, ALL PLANTS THAT WILL NOT BE PLANTED THAT SAME DAY SHALL BE "HEELED IN" WITH SHREDDED BARK OR MOIST SOIL AND KEPT MOIST UNTIL PLANTED.
- 7) THE TRUNKS AND BRANCHES OF ALL TREES SHALL BE PROTECTED FROM INJURY OF ANY KIND DURING ALL OPERATIONS. THE OWNER'S REPRESENTATIVE SHALL REJECT ANY TREES OR SHRUBS THAT ARE INJURED.
- 8) THE CONTRACTOR IS RESPONSIBLE FOR PLANTING MATERIALS PLUMB. SET THE TOP OF THE ROOT BALL AT OR SLIGHTLY HIGHER THAN THE SURROUNDING GRADE. PLANTS SHALL BE FACED TO GIVE THE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT STRUCTURES. NO FILLING WILL BE PERMITTED AROUND TRUNK OR STEMS. WHEN THE PLANT HAS BEEN PROPERLY SET, THE HOLE SHALL BE BACKFILLED TO 1/2 THE DEPTH OF THE BALL WITH PREPARED TOPSOIL MIXTURE, FIRMLY PACKED AND WATERED-IN AT TIME OF PLANTING. LOOSED AND REMOVE BURLAP AND LACING FROM UPPER 1/3 OF THE ROOT BALL. BACKFILL WITH PREPARED TOPSOIL, WHICH AFTER COMPACTION IS FLUSH WITH THE SURROUNDING GROUND. FOR STREET TREES, ROOT BARRIERS SHALL BE INSTALLED WITHIN AREAS WHERE THERE IS LESS THAN SEVEN (7) FEET BETWEEN THE BACK OF CURB AND THE SIDEWALK. WATER BAGS SHALL BE USED ACCORDING TO THE PRODUCT INSTRUCTIONS, TO KEEP TREES AND SHRUBS WATERED FOR THE FIRST GROWING SEASON. WATER BAGS MAY BE REMOVED AT THE DIRECTION OF THE CITY.
- 9) TREE PLANTING AREAS SHALL BE ENCIRCLED WITH A 5" MINIMUM COVERING OF NON-DYED SHREDDED BARK MULCH TO 6" OUTSIDE THE PLANTING HOLE, TAPERING MULCH TO 2" AROUND THE TRUNK OF ALL PLANTS TO 1" OUTSIDE OF THE TRUNK. SUBMIT SAMPLE TO THE OWNER'S REPRESENTATIVE FOR APPROVAL BEFORE PLACEMENT. WOOD CHIPS SHALL NOT BE ALLOWED ON THIS JOB.
- 10) TREE WRAP SHALL COVER TRUNKS OF ALL DECIDUOUS TREES BEGINNING BELOW THE SOIL LINE JUST ABOVE THE ROOTS. TIE WITH TWINE IN 5 PLACES, INCLUDING THE TOP AND BOTTOM OF WRAPPING. MASKING TAPE OR WIRE WILL NOT BE ALLOWED. TREE WRAP MAY BE REMOVED BY MAY 1st OF THE SECOND YEAR, AND REWRAPPED BY OCTOBER 15th OF THE SECOND FALL. CONTINUE THIS PROCESS AS NEEDED FOR YOUNG TREES, AND FOR UP TO 5 YEARS FOR THIN-BARKED SPECIES.
- 11) GUYING SHALL BE EMPLOYED TO PREVENT LEANING OR LOOSENING OF THE TREE FROM THE BALL. BRACING MATERIAL SHALL BE T-POSTS PAINTED GREEN. GUYING MATERIAL SHALL BE 12 GAUGE WIRE AND GARDEN HOSE 1/2 INCH DIAMETER. GUY WIRE SHALL BE ENCASED IN HOSE TO PREVENT DIRECT CONTACT WITH THE TREE. DECIDUOUS TREES SHALL BE BRACED OR GUYED IMMEDIATELY AFTER THE TREE WRAPPING IS COMPLETE. WIRE SHALL NOT BE TIGHT, BUT SHOULD ALLOW THE TREE TO MOVE SLIGHTLY, WHICH WILL ALLOW THE TREE TO SECURE ITSELF IN PLACE MORE QUICKLY. WIRE SHOULD NOT BE SO LOOSE THAT IT ALLOWS THE TREE TO LEAN OR MOVE EXCESSIVELY.
- 12) UPON COMPLETION, ALL PLANT MATERIAL MUST BE PRUNED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. ALL CUTS SHALL BE MADE FLUSH LEAVING NOT STUBS. PRUNING PAINT SHALL NOT BE USED.
- 13) ALL NATIVE SEED MIX AREAS TO BE INSTALLED IN STRICT ACCORDANCE WITH THE PROVIDED ESTABLISHMENT GUIDE, OR AT THE DIRECTION OF THE SEED MIX SUPPLIER. PROPER SITE PREPARATION, INSTALLATION, AND MAINTENANCE OF THE SEED MIX AREAS IS CRITICAL FOR PROPER ESTABLISHMENT.
- 14) ALL SLOPES IN EXCESS OF 4(H):1(V) TO BE COVERED WITH SC-150 BN EROSION CONTROL BLANKET. AREAS STEEPER THAN 3(H):1(V) OR SUBJECT TO CONCENTRATED STORMWATER RUNOFF TO BE COVERED WITH C-125 BN EROSION CONTROL BLANKET. AFTER SITE HAS BEEN TREATED FOR WEEDS IN ACCORDANCE WITH THE ESTABLISHMENT GUIDE, BLANKET IS TO BE REMOVED TO ALLOW FOR SEED MIX INSTALLATION AND THEN REPLACED OVER TOP OF INSTALLED NATIVE SEED.
- 15) IRRIGATION FOR THIS PROJECT IS NOT REQUIRED. MANUAL WATERING OF TREES WITH WATER BAGS SHALL BE CONDUCTED FOR THE FIRST TWO GROWING SEASONS.
- 16) IMMEDIATELY UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN UP THE AREA OF SURPLUS MATERIALS. THE CONTRACTOR SHALL REPAIR AND RE-ESTABLISH TURF IN RUTTED AREAS.

General Landscape Plan Notes:

- 1) See Landscape Plan Sheet 2 for plant lists and details.



LEGEND



MINIMUM LANDSCAPING REQUIREMENTS

LANDSCAPING ADJACENT TO ROADS
 Deciduous or Evergreen Trees: 1 Tree per 40 Linear Feet
 Ornamental Trees: 1 Tree per 100 Linear Feet
 Shrubs: 8 Shrubs per 40 Linear Feet

Isabella Road (290 LF - excludes driveway)
 Required: 8 Dec. or EG Trees; 3 Orn. Trees; 58 Shrubs.
 Provided: 10 Trees; 3 Orn. Trees; 0 Shrubs*.

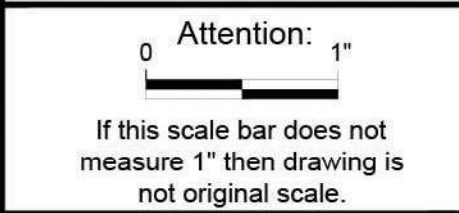
East Pickard Road (276 LF - excludes driveway)
 Required: 7 Dec. or EG Trees; 3 Orn. Trees; 56 Shrubs.
 Provided: 8 Trees; 3 Orn. Trees; 0 Shrubs*.

* We are requesting a waiver for the shrub requirement due to the installation of a native seed mix in the bioswale areas. Shrubs would inhibit the required maintenance activities for the native seed area. Shrubs may be required after seed mix establishment if required by the City.

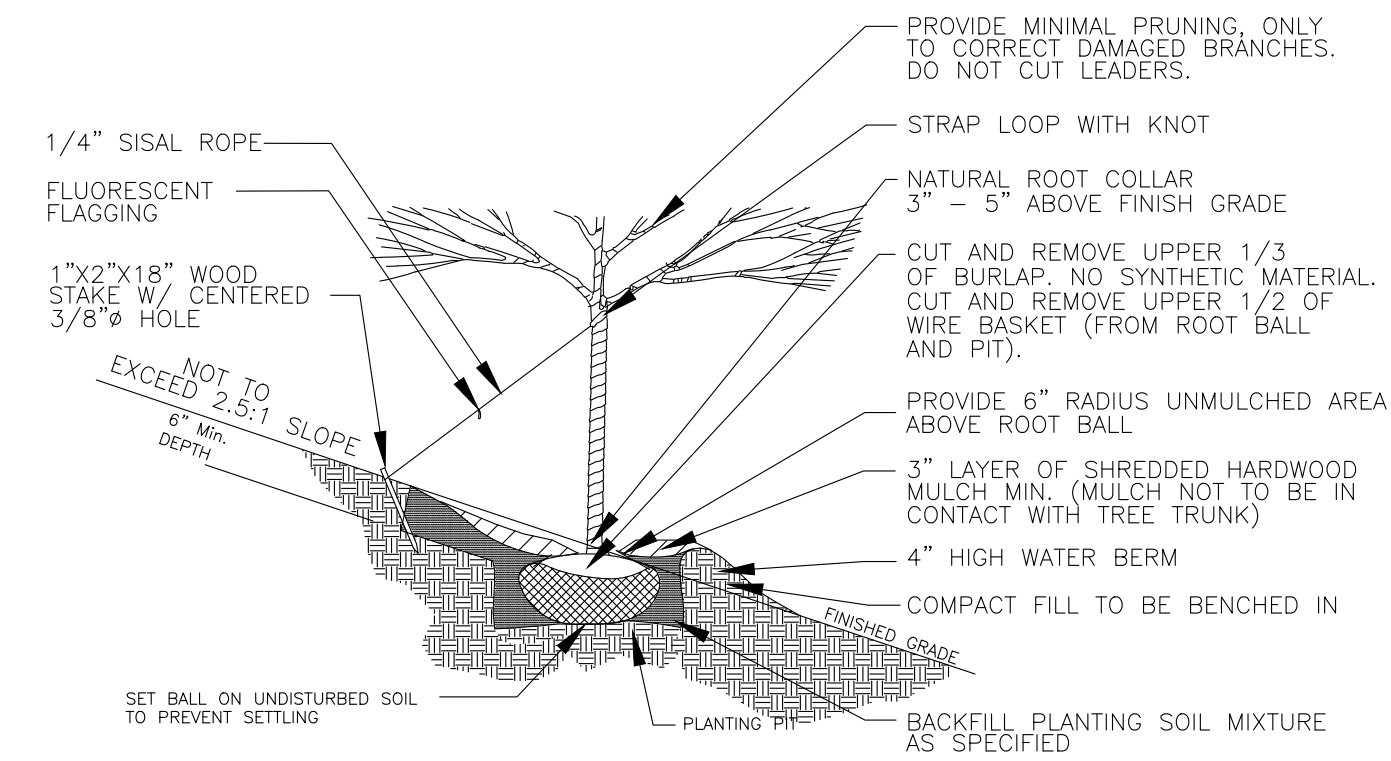
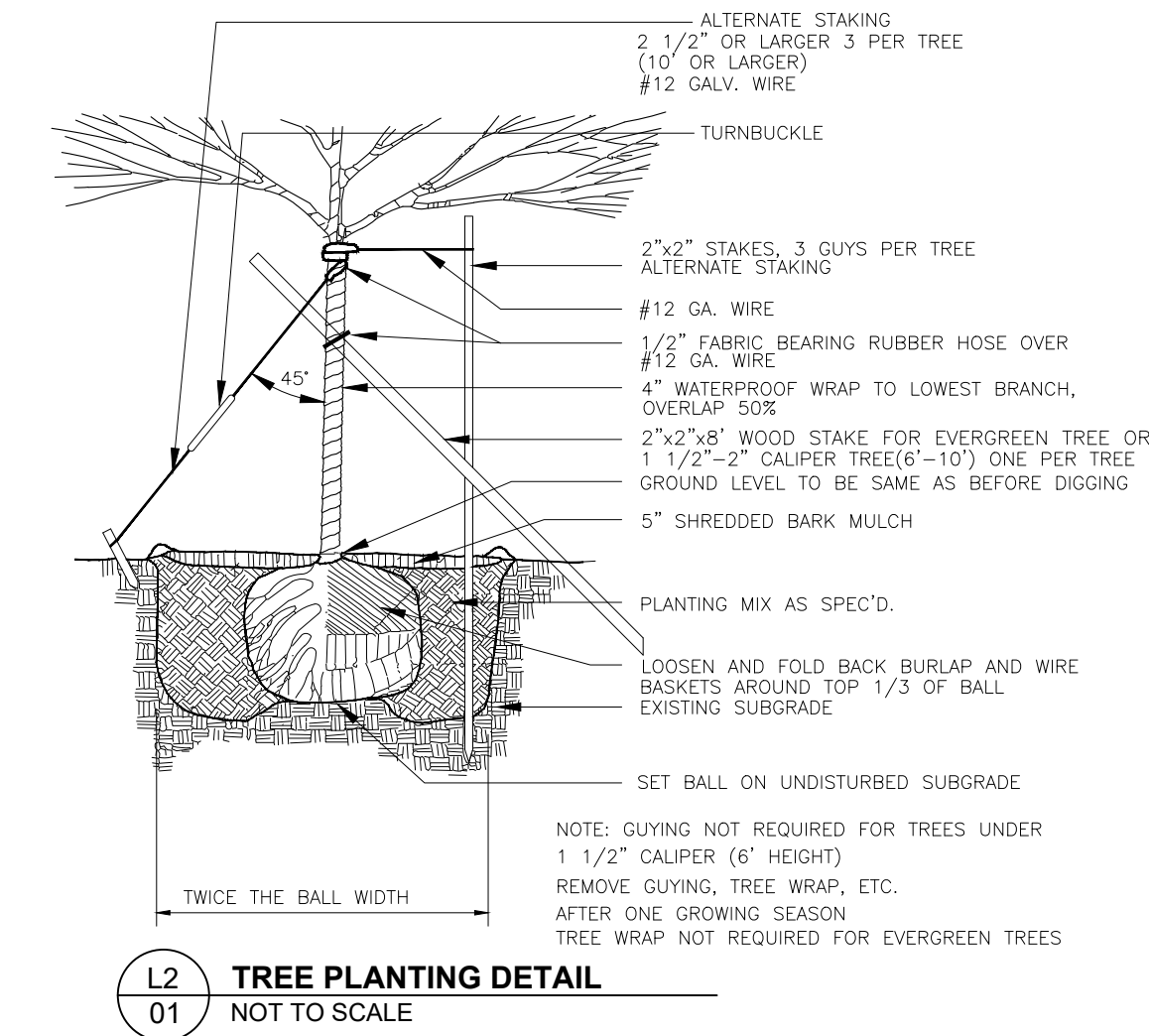
LANDSCAPE SCREENING
 Closely spaced evergreens (not more than 15' on center) to create a complete visual barrier.

West Property Boundary
 Trees provided: 32 Evergreen; 7 Deciduous
 - Existing trees within the project area which are healthy and will not be impacted by site grading activities shall remain to enhance this buffer area as well.
 - Due to the nature of the site and the bioswale areas, deciduous trees have been added to this buffer area to enhance the visual buffer throughout the year. Some of these trees are also counting towards the parking lot landscaping.

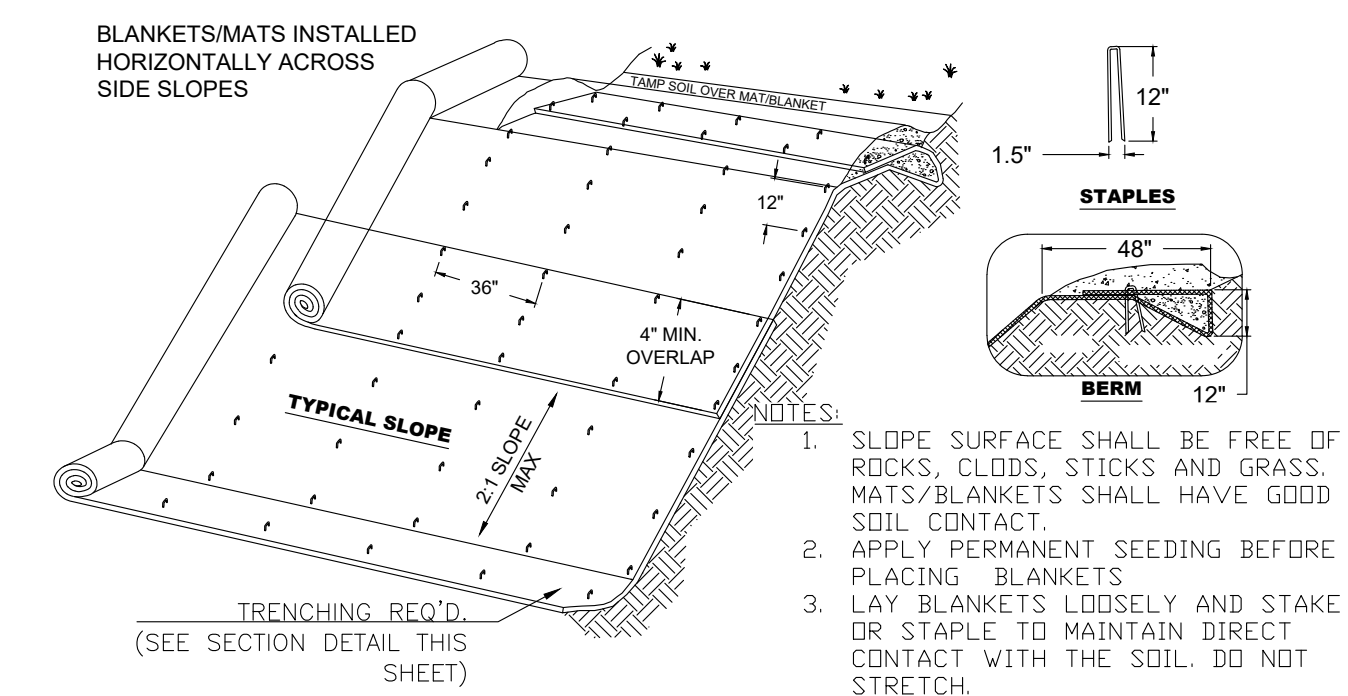
PARKING LOT LANDSCAPING
 One shade tree per 5 spaces.
 Required: 8 Trees (based on 37 parking spaces)
 Provided: 8 Trees



TREES & SHRUBS					
Qty.	Key	Scientific Name	Common Name	Size & Condition	Spacing
12	AB	<i>Abies balsamea</i>	Balsam Fir	6' Ht., B&B	10' O.C.
4	AR	<i>Acer rubrum</i>	Red Maple	2.5" Cal., B&B	20' O.C.
9	AS	<i>Acer saccharum</i>	Sugar Maple	2.5" Cal., B&B	20' O.C.
6	AL	<i>Amelanchier grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	2.5" Cal., B&B	10' O.C.
6	NS	<i>Nyssa sylvatica</i>	Black Gum	2.5" Cal., B&B	16' O.C.
13	PG	<i>Picea glauca</i>	White Spruce	6' Ht., B&B	12' O.C.
15	PS	<i>Pinus strobus</i>	Eastern White Pine	6' Ht., B&B	10' O.C.
8	QB	<i>Quercus bicolor</i>	Swamp White Oak	2.5" Cal., B&B	20' O.C.



* THIS DETAIL SHALL APPLY TO ALL TREES PLANTED ON A SLOPE



Bioswale Seed Mix - PA.A 18,684 sf		
Scientific Name	Common Name	% of Area
<i>Carex bebbii</i>	Sedge	6
<i>Carex brevior</i>	Plains Oval Sedge	10
<i>Carex muskingumensis</i>	Palm Sedge	15
<i>Carex vulpinoidea</i>	Fox Sedge	40
<i>Deschampsia cespitosa</i>	Tufted Hairgrass	7
<i>Panicum virgatum</i>	Switchgrass	10
<i>Schizachyrium scoparium</i>	Little Bluestem	6
<i>Sporobolus heterolepis</i>	Prairie Dropseed	6

Dry Prairie Seed Mix - PA.B 6,475 sf		
Scientific Name	Common Name	% of Area
<i>Bouteloua curtipendula</i>	Sideoats Grama	20
<i>Schizachyrium scoparium</i>	Little Bluestem	40
<i>Sporobolus heterolepis</i>	Prairie Dropseed	40

SEED MIX NOTES

- % OF AREA indicates the visual percentage of the proposed planting area that a given species shall represent. The native seed mix supplier will determine the correct seed quantities per mix on a basis of 'pure live seed' ounces per acre based on this percentage.
- To facilitate proper installation and weed management, only grasses are proposed for the seed mix installation and establishment phase. This is to allow the treatment of broadleaf weeds in the project area while the grasses are establishing. After year one, native flowering plugs can be planted throughout the seed mix area, assuming no additional chemical weed treatments are required.
- Contractor is to follow the provided seed mix establishment guide, and information provided by the seed mix supplier, to ensure proper native seed mix establishment. The establishment guide can also be found at this web address:
<https://www.prairienursery.com/media/pdf/seed-mix-establishment-guide.pdf>

Attention:

 If this scale bar does not measure 1" then drawing is not original scale.

05/17/2021
PRELIMINARY

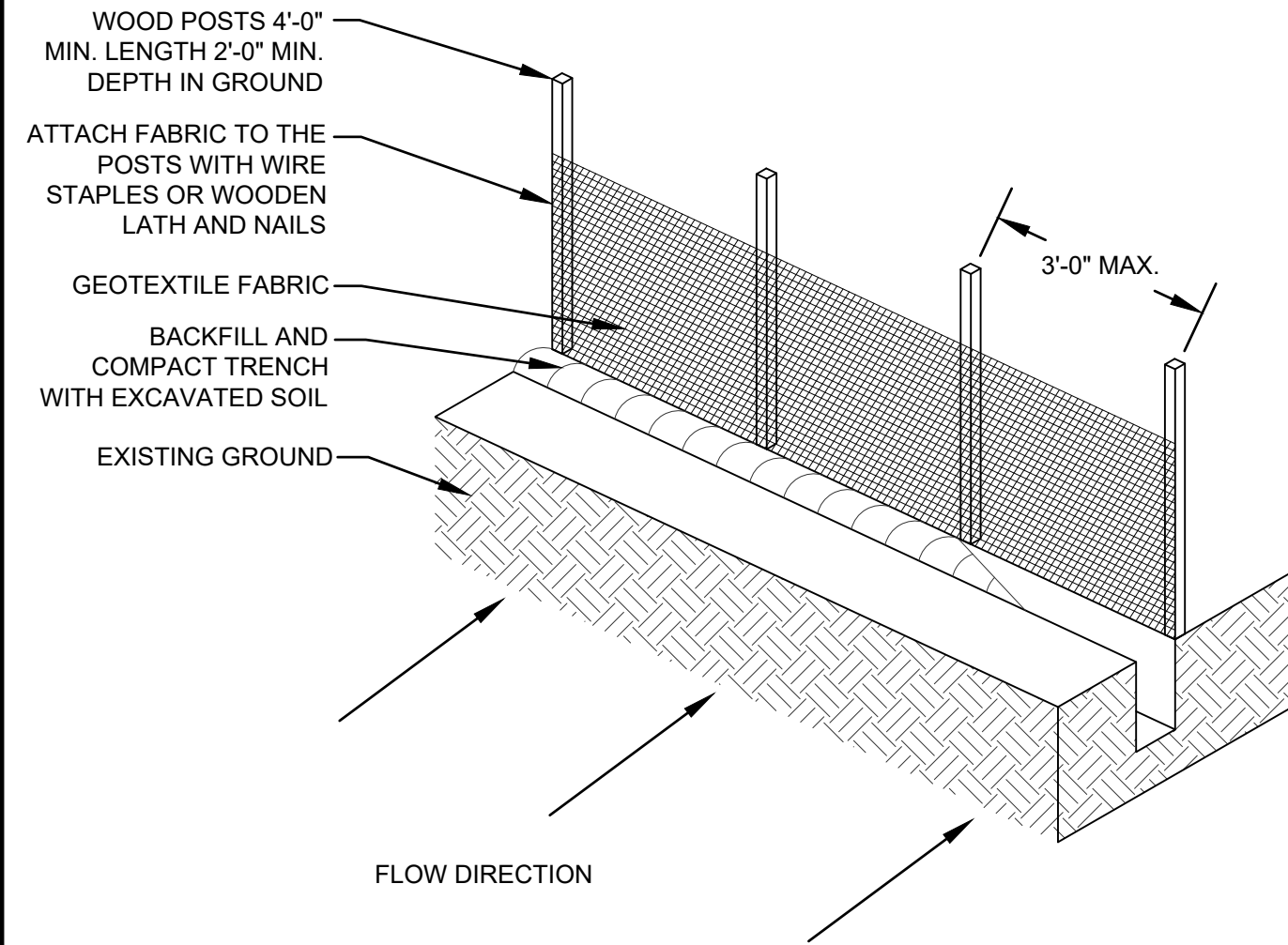
Designed By: JRR
 Checked By: CAR
 Drawn By: JRR
 Approved By: CAR

GEI PROJECT: 1509480

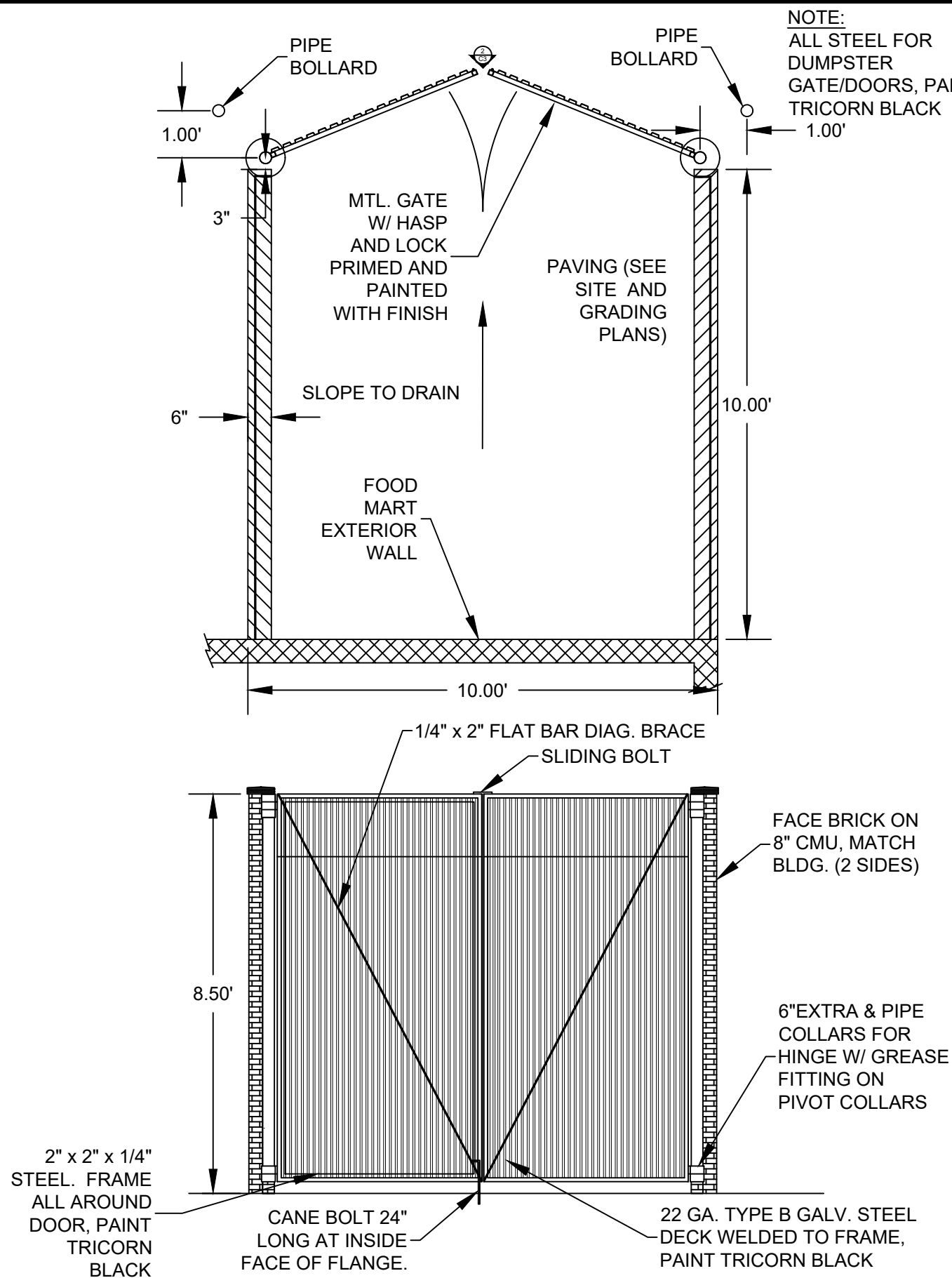
DWG. NO.
02-L-02
 SHEET 9
 ARCHIVE

NOTES:

- TRENCH SHALL BE MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" x 1 1/8" OAK OR HICKORY.
- THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT OBTAINED BY THE CONTRACTOR FROM THE LOCAL GOVERNING AGENCY SUPERCEDES THIS DETAIL.



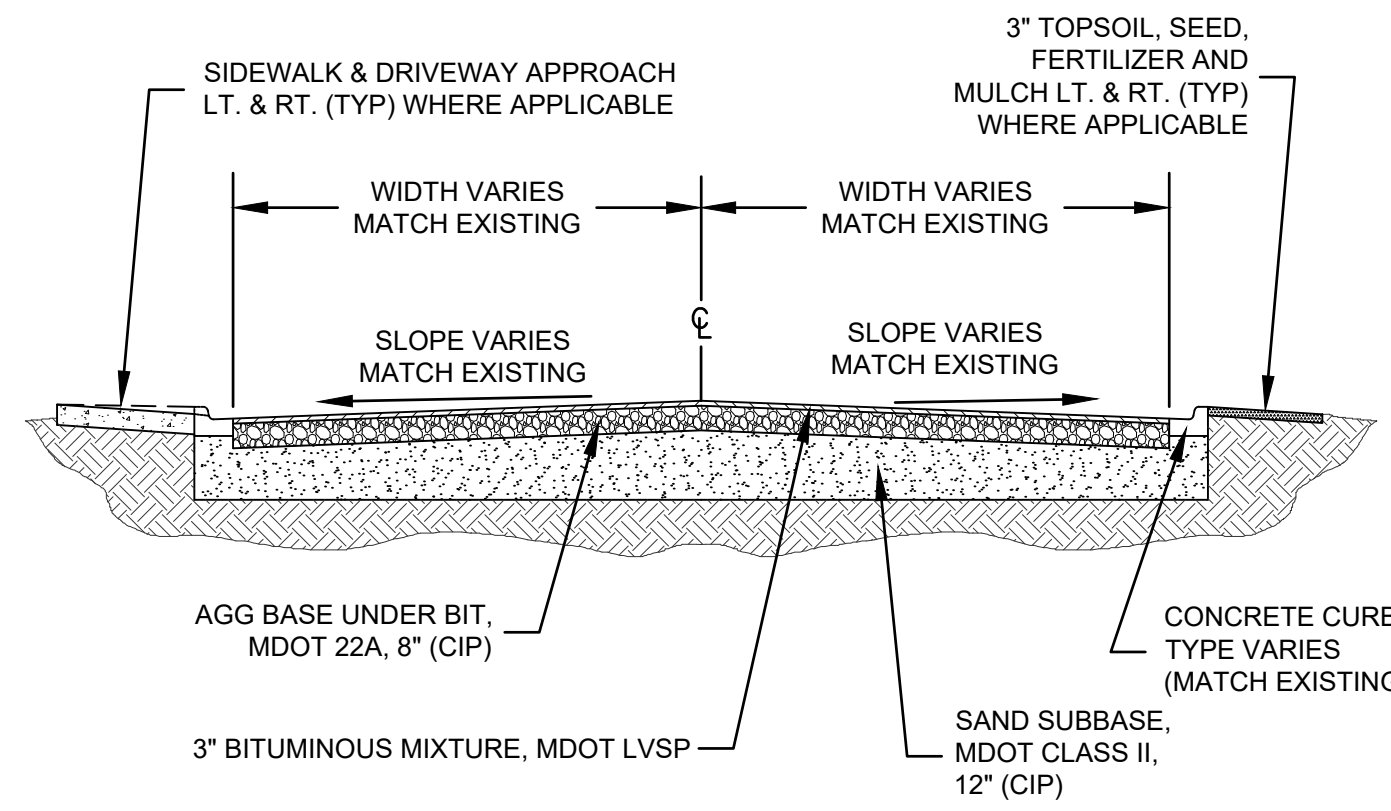
02-001 TYPICAL SILT FENCE DETAIL
NO SCALE



02-002 DUMPSTER ENCLOSURE
NO SCALE

ROAD RECONSTRUCTION REQUIREMENTS:

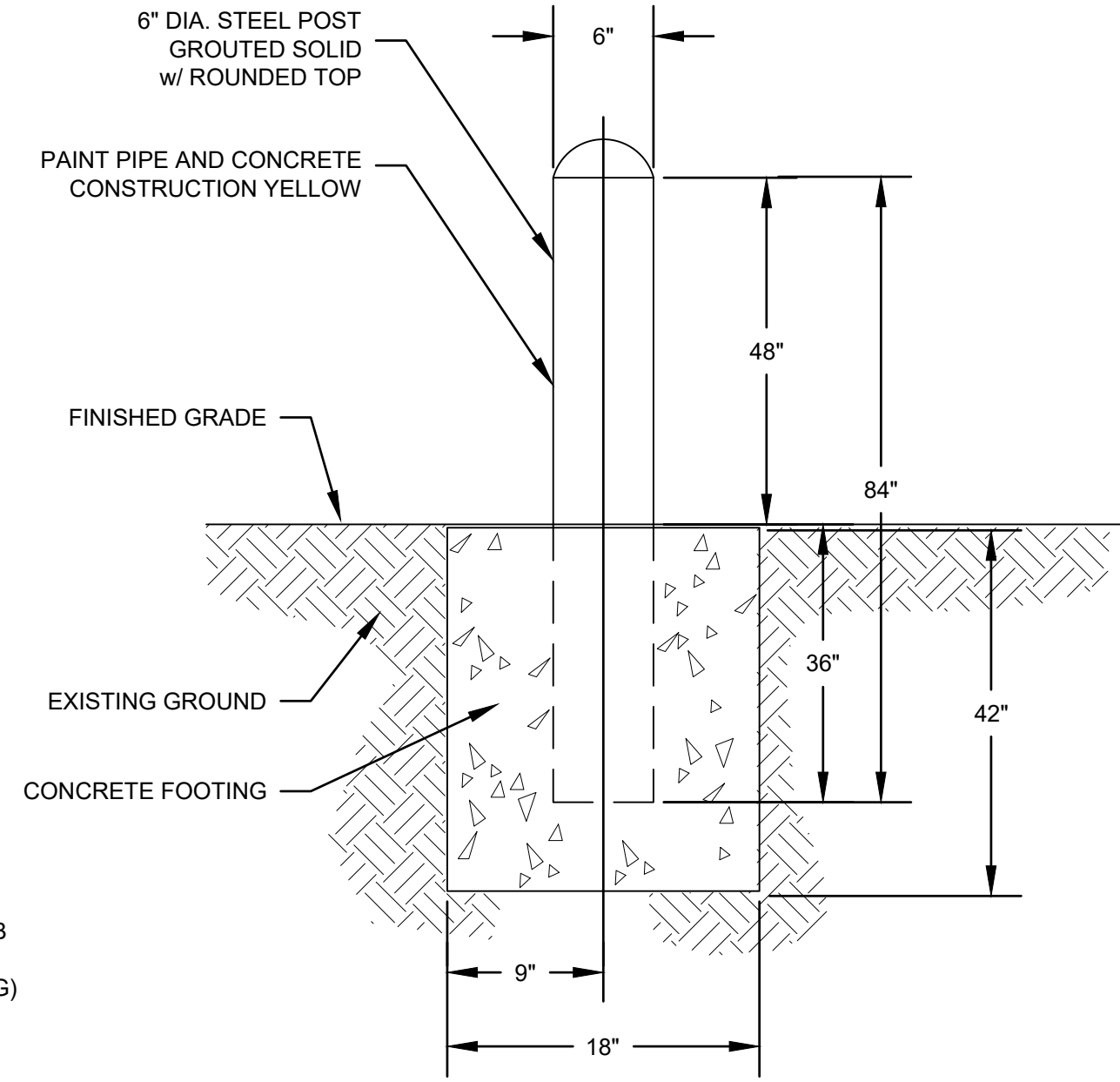
- TYPICAL CROSS SECTIONS ARE SHOWN FOR REFERENCE PURPOSES, AND REPRESENT REQUIREMENTS FOR STREET REPAIR OR RECONSTRUCTION.



02-022 TYPICAL ROADWAY X-SECTION WITH CURB
NO SCALE

NOTE:

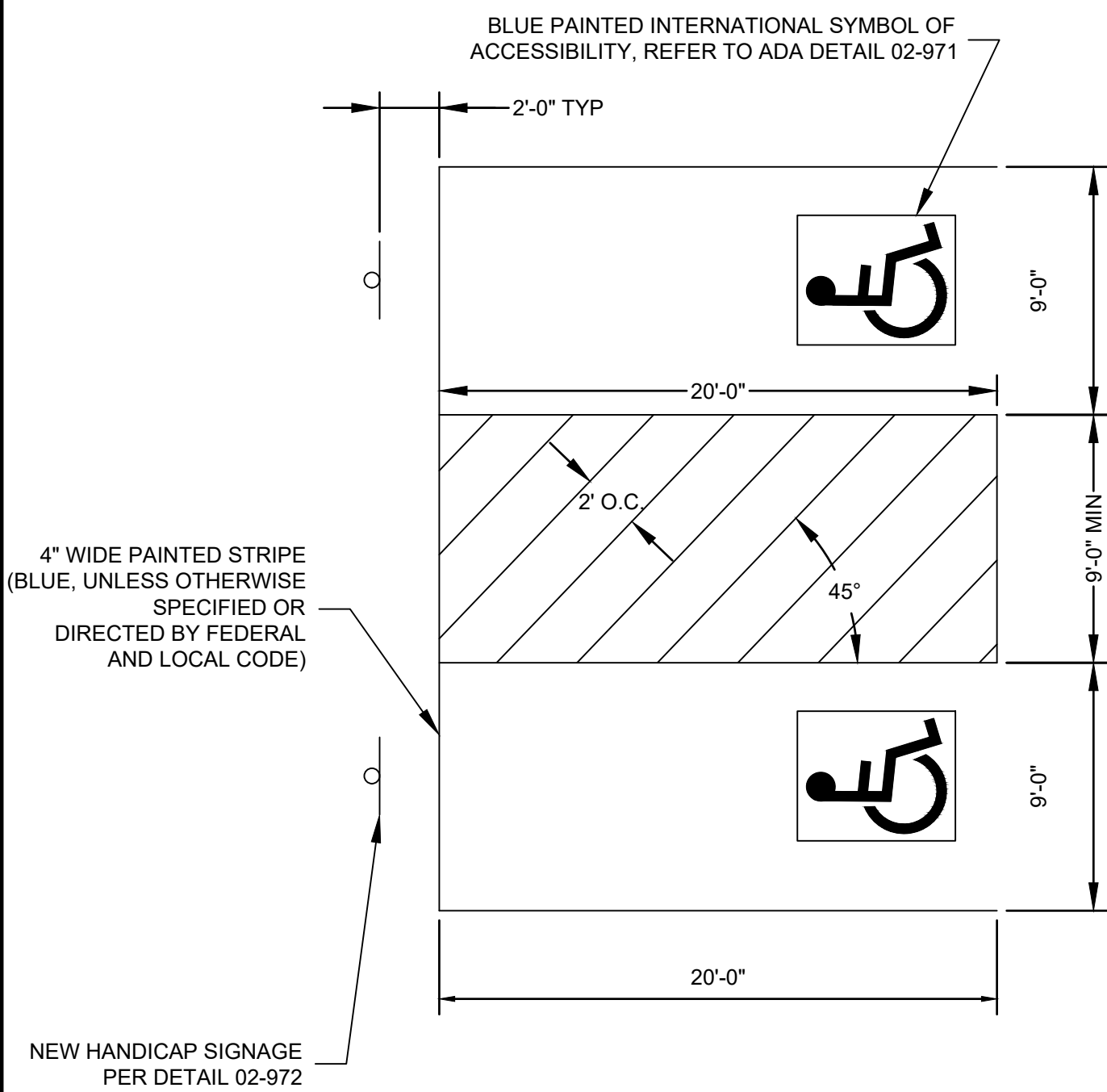
- POST LOCATIONS TO BE DETERMINED BY THE ENGINEER.



02-185 TYPICAL BOLLARD POST
NO SCALE

NOTES:

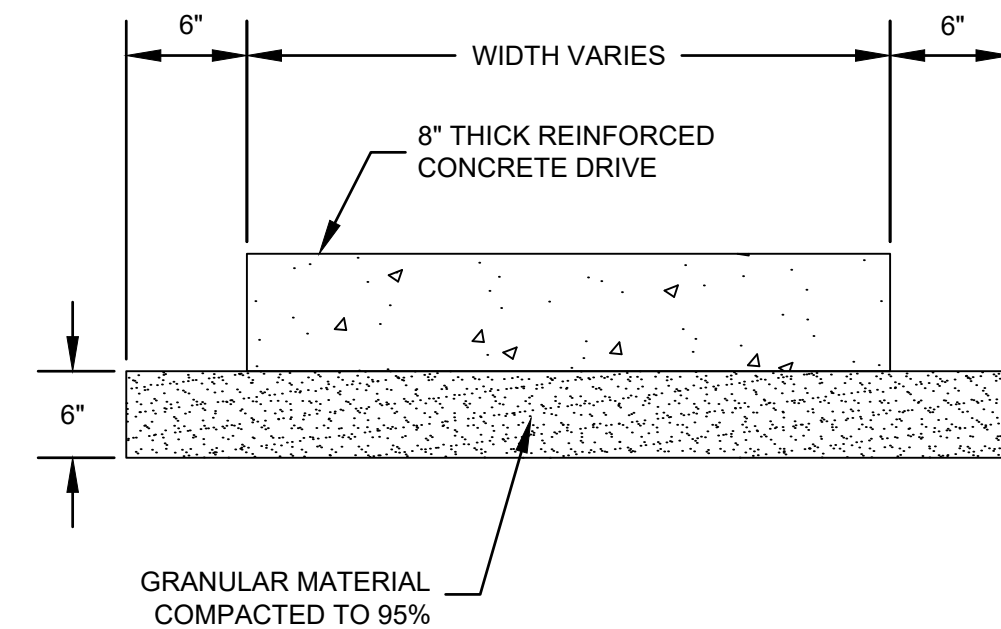
- ACCESS AISLES SHALL EXTEND THE FULL LENGTH OF THE PARKING SPACES THEY SERVE.
- DIMENSIONS INDICATED BELOW ARE TO THE CENTER OF THE STRIPED LINE.



02-970 HANDICAP STALL LAYOUT
NO SCALE

NOTES:

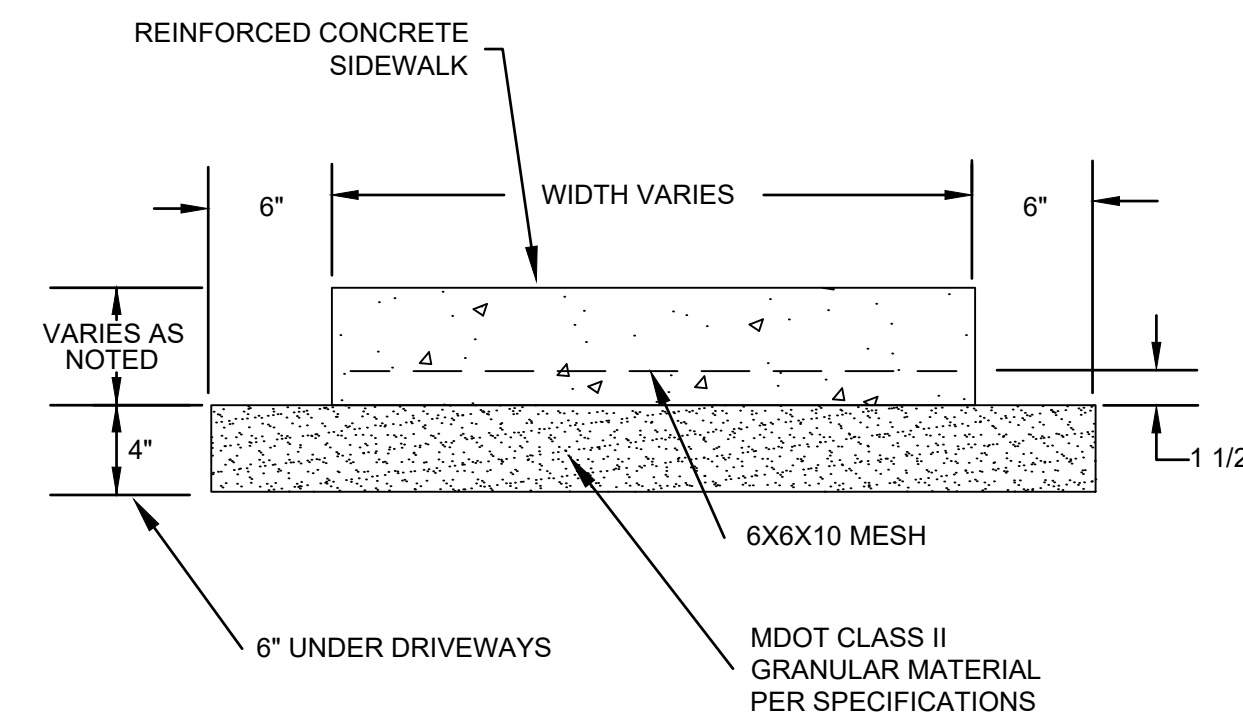
- CONCRETE DRIVEWAYS SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
- CONCRETE DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH WisDOT STANDARD PLANS.
- ANY EXISTING DRIVEWAY WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
- PROVIDE CONTROL JOINTS IN ACCORDANCE WITH WisDOT STANDARD PLANS.



03-010 CONCRETE DRIVEWAY
NO SCALE

NOTES:

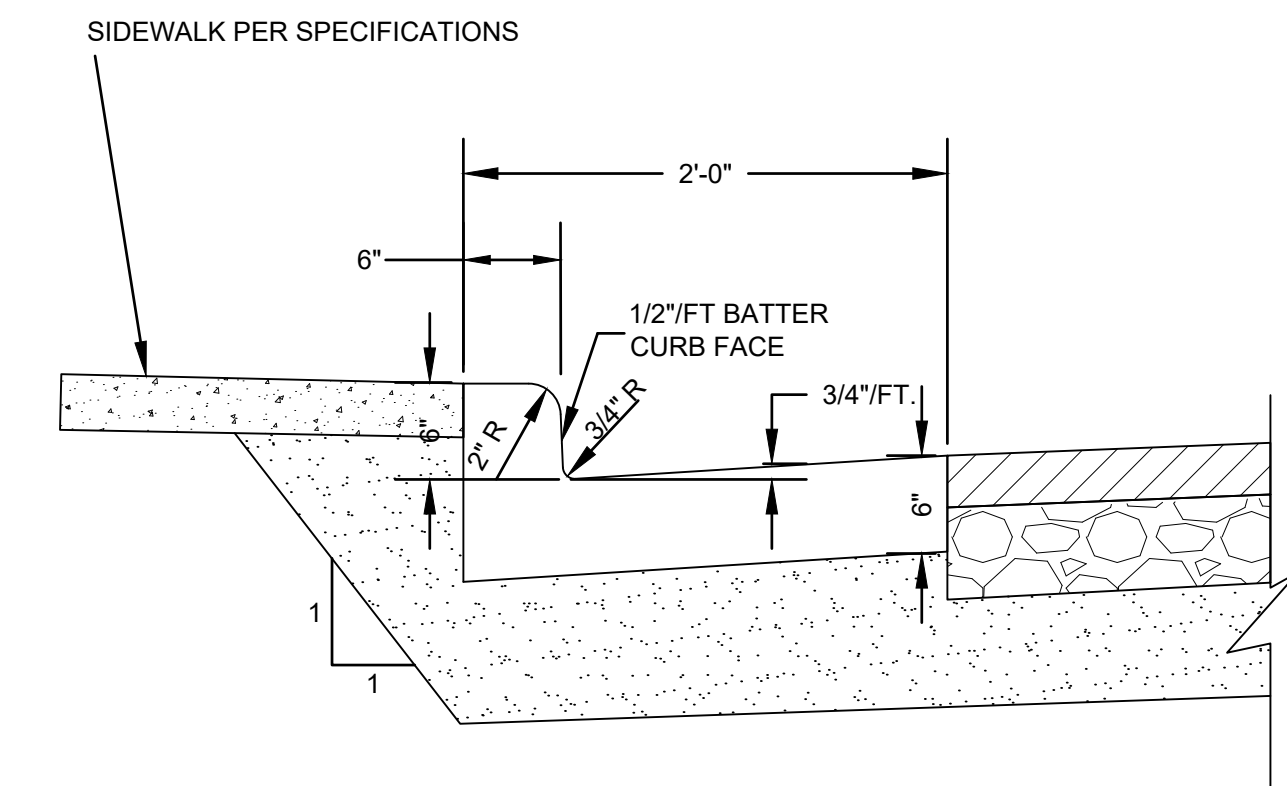
- CONCRETE SIDEWALK SHALL BE SAWCUT FULL DEPTH TO A NEAT AND TRIM LINE PRIOR TO REPLACEMENT.
- CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-I.
- ANY EXISTING SIDEWALK WHICH BECOMES UNDERCUT DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED.
- CONCRETE SIDEWALK SHALL BE 4" FOR PEDESTRIAN TRAFFIC AND 6" FOR VEHICULAR TRAFFIC. PROVIDE CONTROL JOINTS IN ACCORDANCE WITH MDOT STANDARD PLAN R-29-I.



03-020 CONCRETE SIDEWALK
NO SCALE

NOTES:

- CONCRETE CURB AND/OR GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-F.



03-046 TYPE F CONCRETE CURB AND GUTTER DETAIL
NO SCALE

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EXISTING TOPOGRAPHY SURVEY



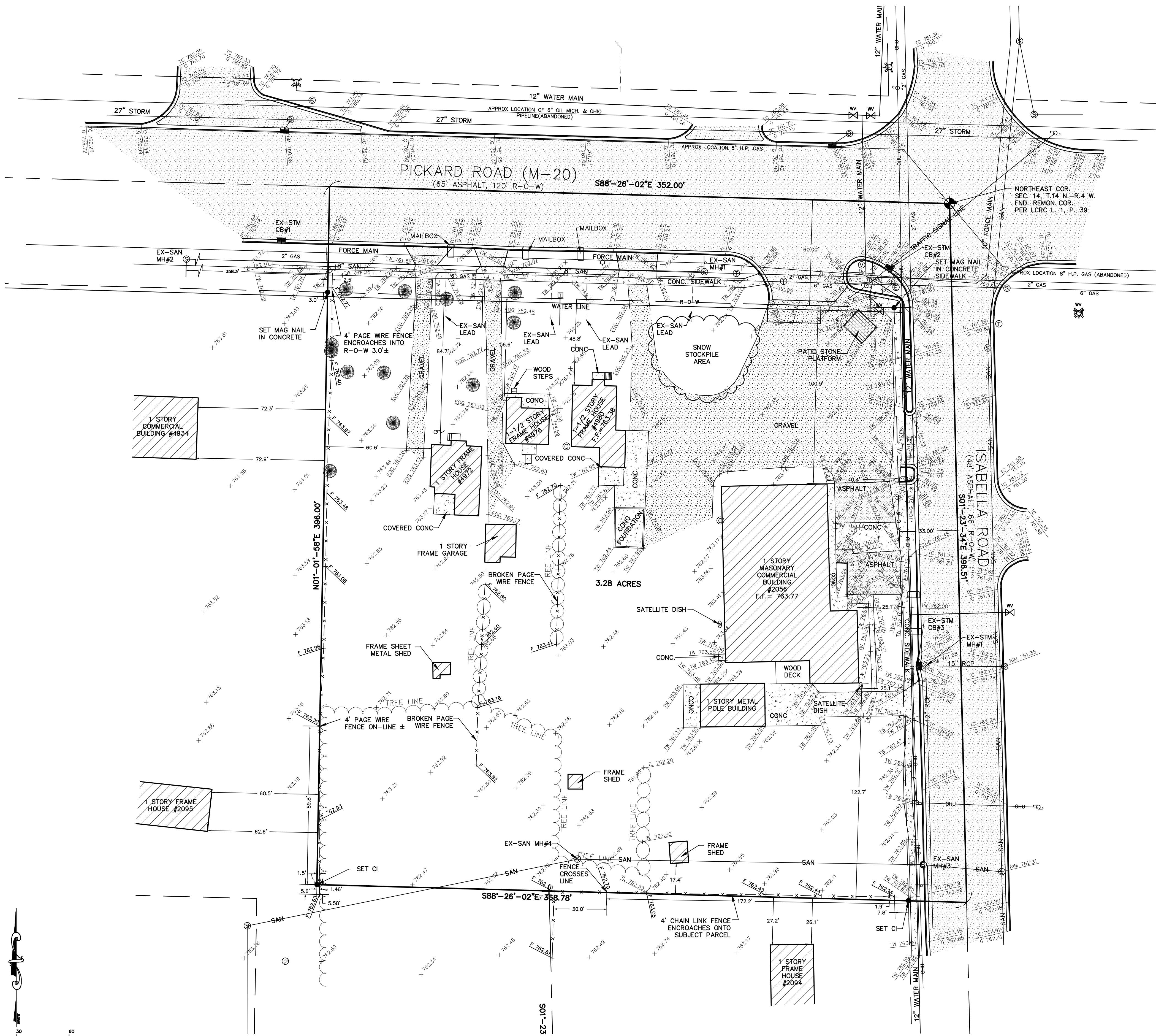
EXISTING TOPOGRAPHY
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 SECTION 14, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:
 SUBMITTAL TO CLIENT 2-10-21
 SUBMITTAL TO CLIENT 318-21

JOB NUMBER:
 2101-004
 DRAWN BY:
 WRE/BTM
 DESIGNED BY:
 N/A
 CHECKED BY:
 TELB

SCALE
 1" = 30'
 SHEET NUMBER
 2 OF 3



SANITARY SEWER STRUCTURES

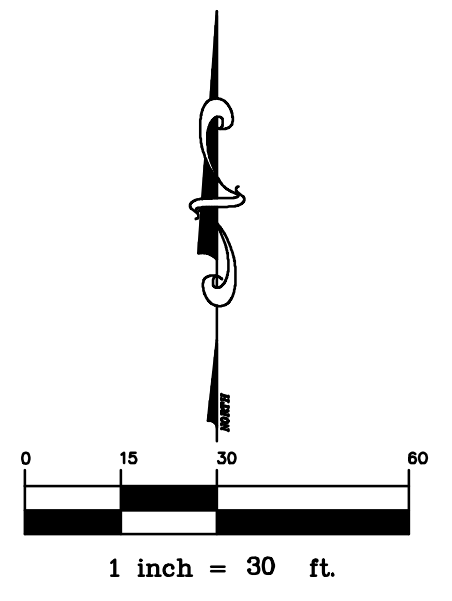
EX-SAN MH#1	RIM= 761.91 WEST INV= 755.15
EX-SAN MH#2	RIM= 761.07 FLOWLINE INV= 749.25
EX-SAN MH#3	RIM= 762.57 FLOWLINE INV= 744.25
EX-SAN MH#4	RIM= 761.99 FLOWLINE INV= 744.89

STORM SEWER STRUCTURES

EX-STM CB#1	RIM= 760.25 NORTHEAST INV= 755.40 NORTHWEST INV= 755.42 SOUTHWEST INV= 755.29
EX-STM CB#2	RIM= 760.76 NORTHEAST INV= 755.44 SOUTHWEST INV= 755.77
EX-STM CB#3	RIM= 761.68 STRUCTURE ELBOWS DIRECTLY INTO EX-STM MH#1
EX-STM MH#1	WEST INV= 755.73 WEST INV FROM EX-STM MH#3= 759.00 SOUTH INV= 755.23 EAST INV= 748.93

NOTE: DUE TO SNOW COVER ALL FLAT WORK IS NOT SHOWN.

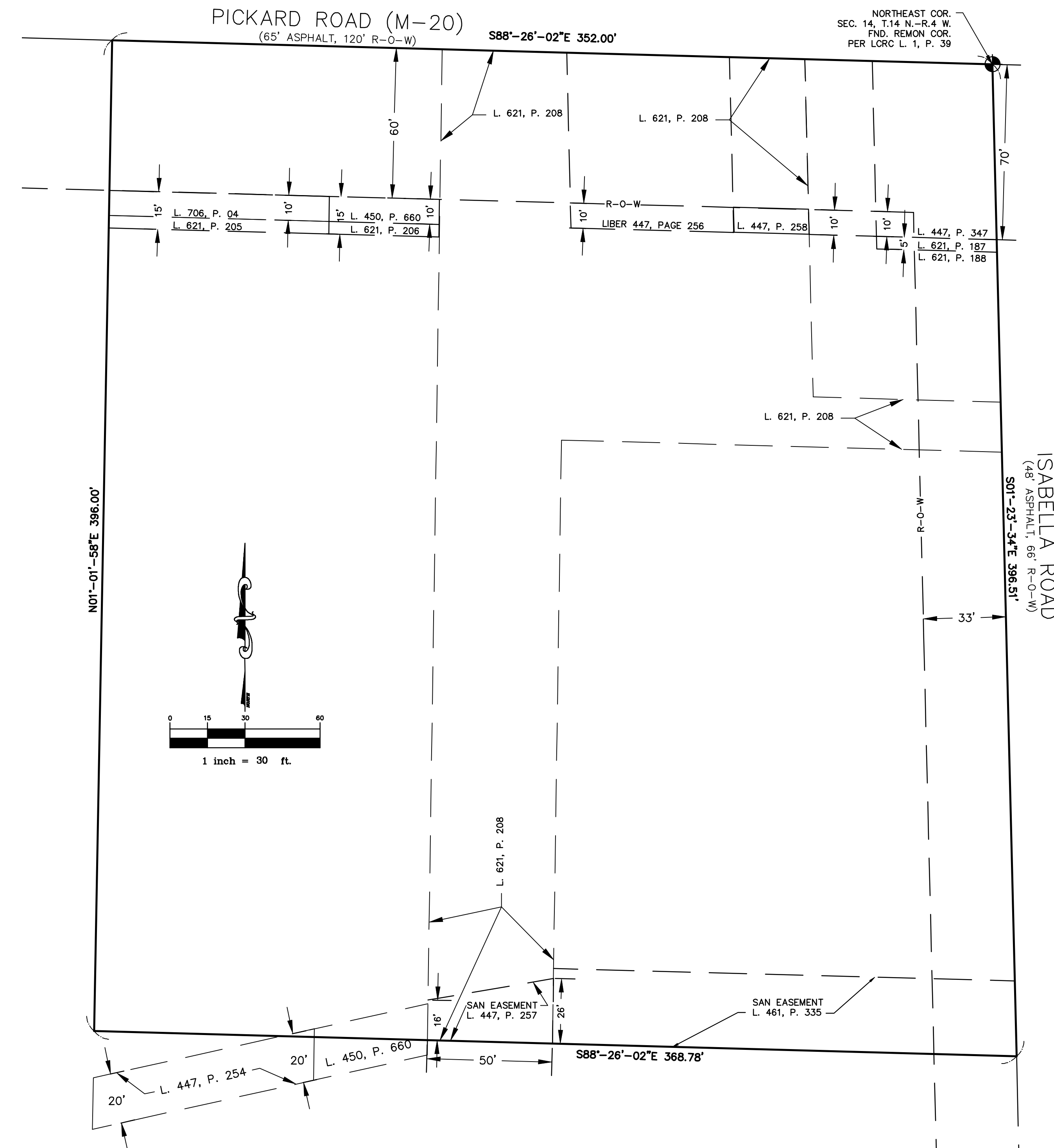
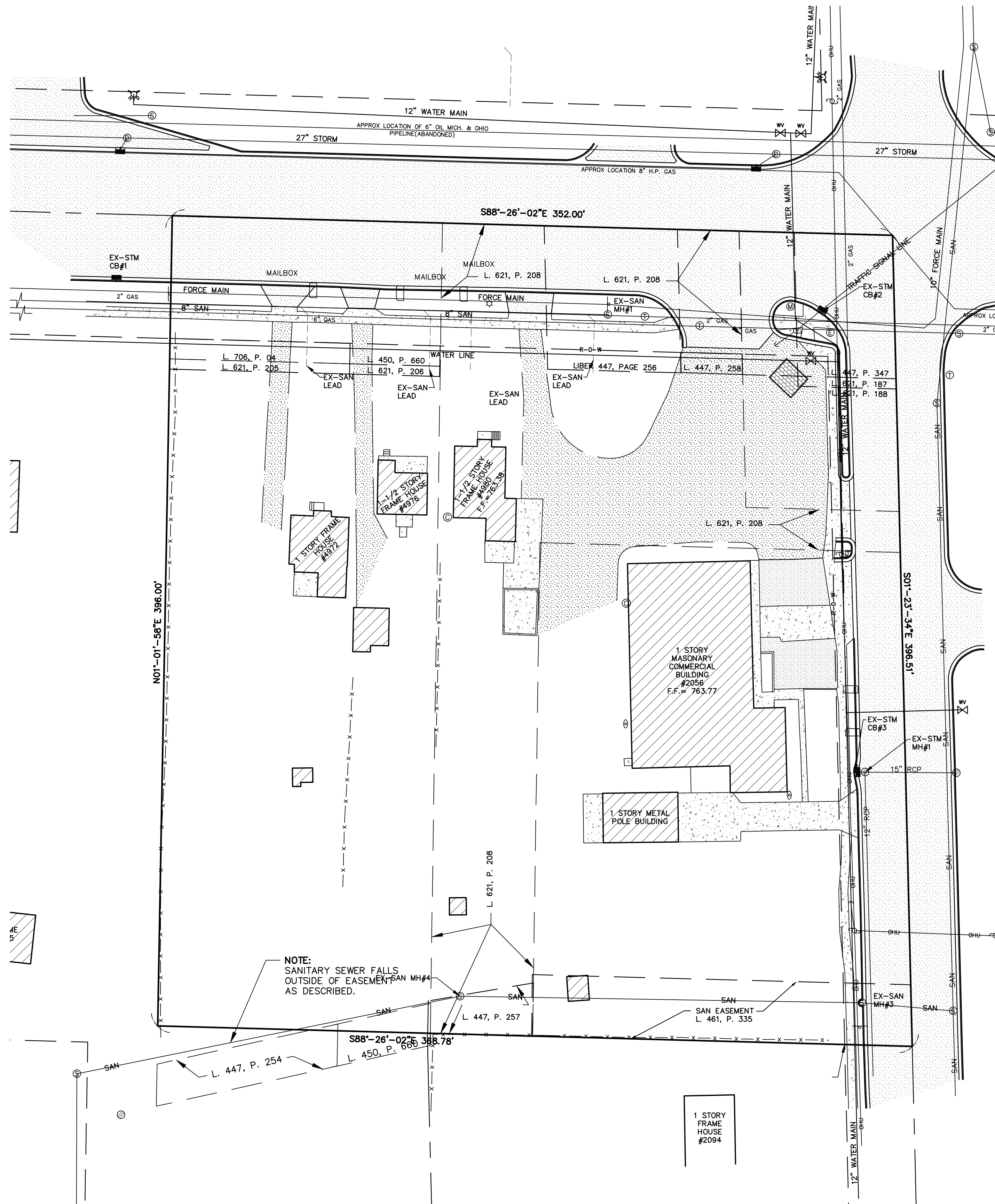
NOTE: INFORMATION ABOUT EXISTING BURIED UTILITIES WAS OBTAINED BY REVIEWING INFORMATION PROVIDED BY THE MUNICIPALITY.



EASEMENT SHEET

SCHEDULE B II EXCEPTIONS:

- EASEMENT GRANTED TO UNION TOWNSHIP FOR SANITARY SEWER DATED MARCH 3, 1979 AND RECORDED APRIL 6, 1979 IN LIBER 447, PAGE 254
- EASEMENT GRANTED TO UNION TOWNSHIP FOR SANITARY SEWER DATED MARCH 27, 1979 AND RECORDED APRIL 6, 1979 IN LIBER 447, PAGE 256 AND ALSO RECORDED IN LIBER 447, PAGE 257
- EASEMENT GRANTED TO UNION TOWNSHIP FOR SANITARY SEWER DATED MARCH 27, 1979 AND RECORDED APRIL 6, 1979 IN LIBER 447, PAGE 258 AND ANOTHER DATED APRIL 3, 1979 AND RECORDED APRIL 10, 1979 IN LIBER 447, PAGE 347.
- EASEMENT GRANTED TO UNION TOWNSHIP FOR SANITARY SEWER DATED JUNE 5, 1979 AND RECORDED JUNE 29, 1979 IN LIBER 450, PAGE 660 AND ANOTHER DATED MARCH 25, 1980 AND RECORDED APRIL 10, 1980 IN LIBER 461, PAGE 335.
- EASEMENT GRANTED TO UNION TOWNSHIP FOR WATER PIPELINE DATED JANUARY 16, 1987 AND RECORDED OCTOBER 7, 1987 IN LIBER 621, PAGE 187 AND ANOTHER DATED FEBRUARY 19, 1987 AND RECORDED OCTOBER 7, 1987 IN LIBER 621, PAGE 188.
- EASEMENT GRANTED TO UNION TOWNSHIP FOR WATER PIPELINE DATED JANUARY 13, 1987 AND RECORDED OCTOBER 7, 1987 IN LIBER 621, PAGE 205 AND ANOTHER DATED FEBRUARY 19, 1987 AND RECORDED OCTOBER 7, 1987 IN LIBER 621, PAGE 206.
- EASEMENT GRANTED TO UNION TOWNSHIP FOR WATER PIPELINE DATED JULY 13, 1987 AND RECORDED OCTOBER 7, 1987 IN LIBER 621, PAGE 208.
- EASEMENT FOR ELECTRIC FACILITIES GRANTED TO CONSUMERS POWER COMPANY DATED MARCH 20, 1990 AND RECORDED DECEMBER 21, 1990 IN LIBER 706, PAGE 4.



CMS & D
SURVEYING/ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



EASEMENT SHEET
GEI 50
PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4
SECTION 14, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:

SUBMITTALS:
SUBMITTAL TO CLIENT 2-10-21
SUBMITTAL TO CLIENT 318-21

JOB NUMBER:
2101-004
DRAWN BY:
WRE/BTM
DESIGNED BY:
N/A
CHECKED BY:
TELB

SCALE
1" = 30'
SHEET NUMBER
3 OF 3

PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = HS20 & HS25
- APPROX. LINEAR FOOTAGE = 1,062 lf.

STORAGE SUMMARY

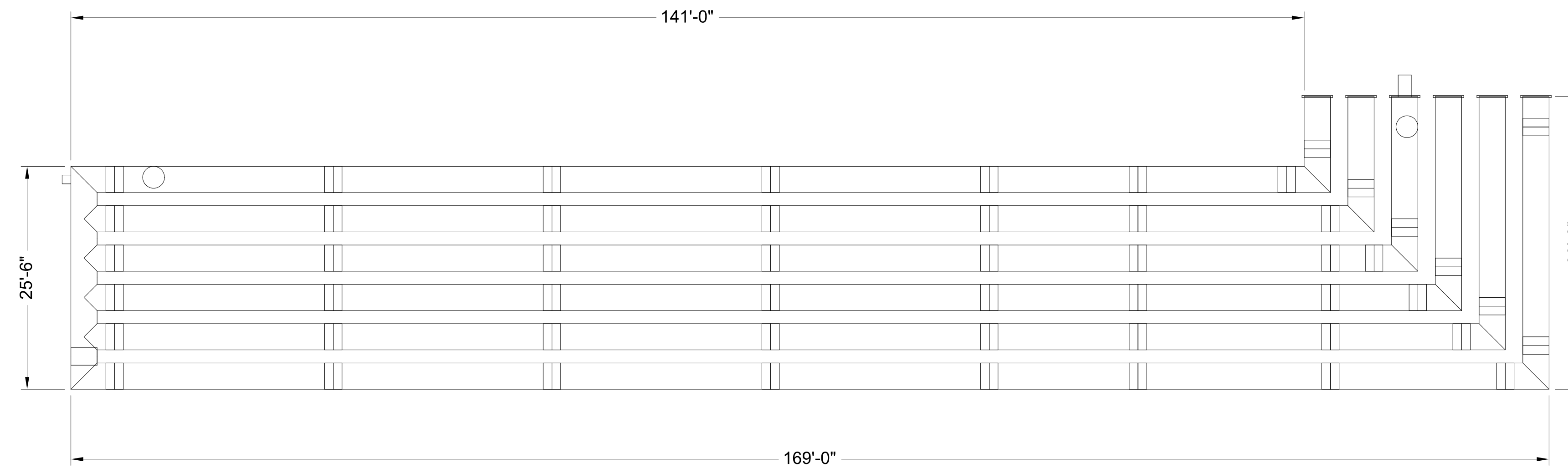
- STORAGE VOLUME REQUIRED = 7,500 cf.
- PIPE STORAGE VOLUME = 7,507 cf.
- BACKFILL STORAGE VOLUME = 0 cf.
- TOTAL STORAGE PROVIDED = 7,544 cf.

PIPE DETAILS

- DIAMETER = 36 IN.
- CORRUGATION = 2 2/3x1/2
- GAGE = 16
- COATING = ALT2
- WALL TYPE = Solid
- BARRELL SPACING = 18 IN.

BACKFILL DETAILS

- WIDTH AT ENDS = 12 IN.
- ABOVE PIPE = 0 IN.
- WIDTH AT SIDES = 12 IN.
- BELOW PIPE = 0 IN.



NOTES

- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2 2/3" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN, QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

ASSEMBLY
SCALE: 1" = 20'

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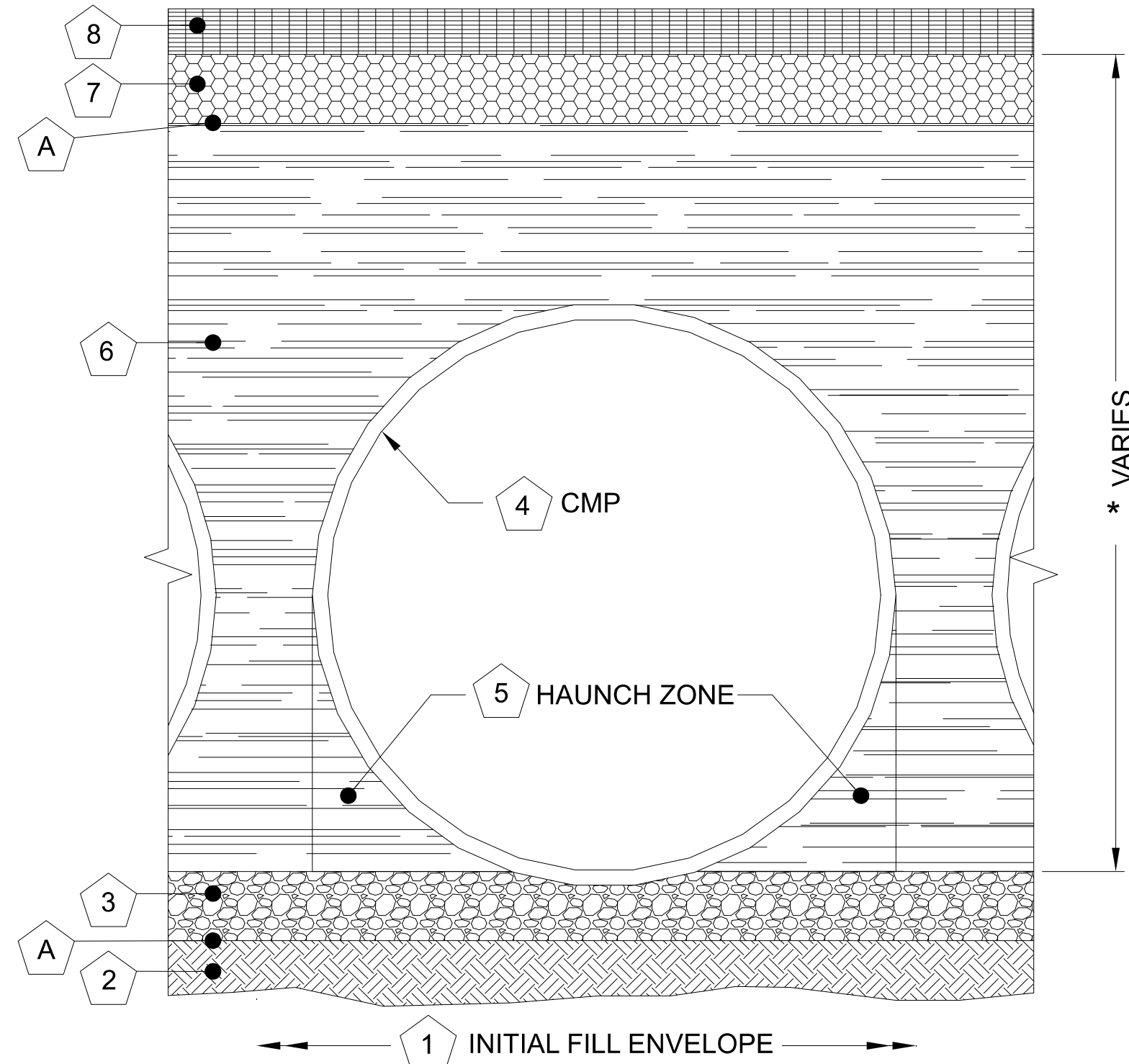
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CONTECH
CMP DETENTION SYSTEMS

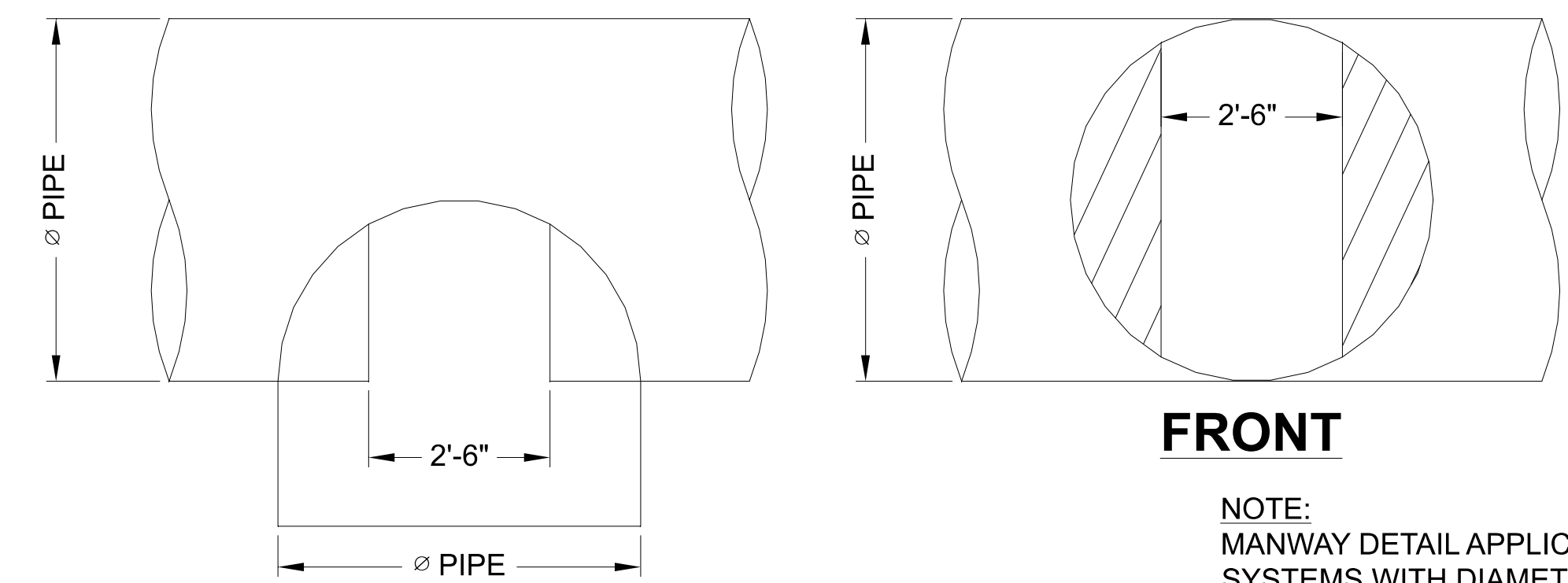
CONTECH
DYODS
DRAWING

DY07653 Krist Gas Station
North Detention
Iron River, MI
DETENTION SYSTEM

PROJECT No.: 4780	SEQ. No.: 7653	DATE: 5/12/2021
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.:		D1

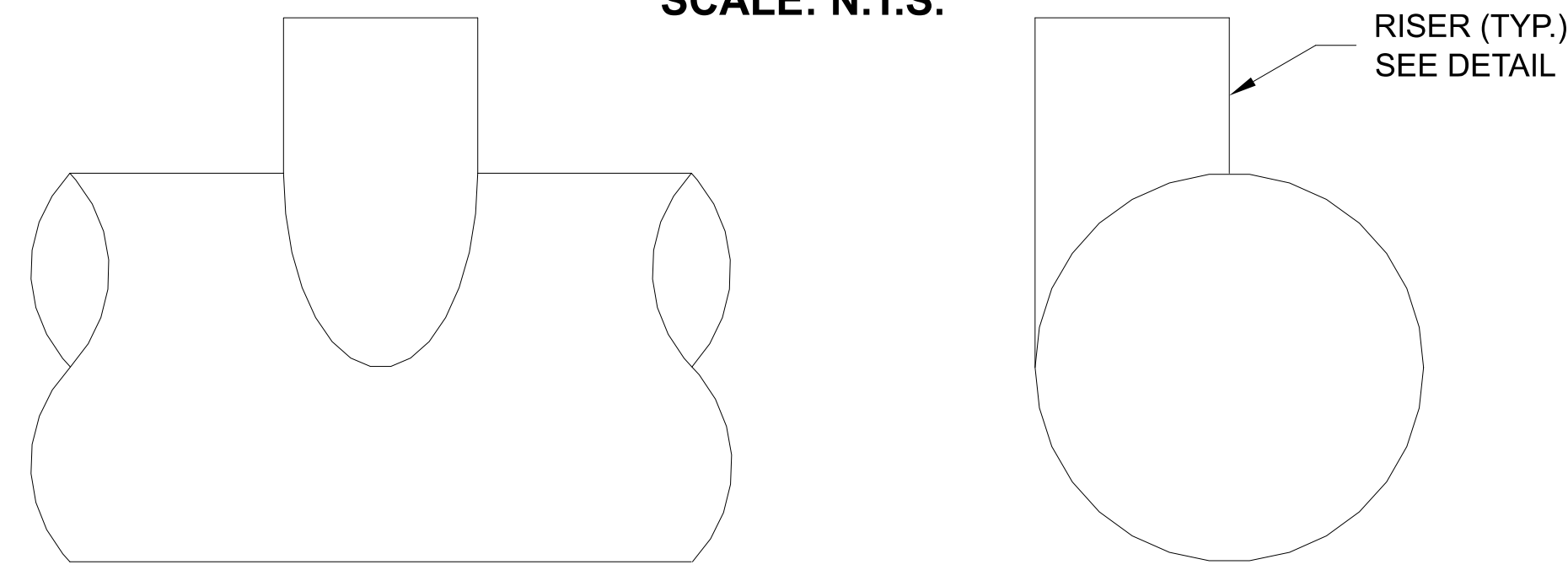


DETENTION SYSTEMS - CMP DETENTION / CMP DRAINAGE			
Material Location	Description	Material Designation	Designation
8	Rigid or Flexible Pavement (if applicable)		
7	Road Base (if applicable)		
A	Geotextile Layer	Non-Woven Geotextile	CONTECH C-40 or C-45
6	Backfill	Well graded granular material which may contain small amounts of silt or clay.	AASHTO M 145- A-1, A-2, A-3
6	Bedding Stone	Well graded granular bedding material w/maximum particle size of 3"	AASHTO M43 - 3,357,4,467, 5, 56, 57
3			Engineer to determine if bedding is required. Pipe may be placed on the trench bottom of a relatively loose, native suitable well graded & granular material. For Arch pipes it is recommended to be shaped to a relatively flat bottom or fine-grade the foundation to a slight v-shape. Unsuitable material should be over-excavated and re-placed with a 4"-6" layer of well graded & granular stone per the material designation. See AASHTO 26.3.8.1 / 26.5.3 Bedding info.
A	Geotextile Layer	Non-Woven Geotextile	CONTECH C-40 or C-45
			Engineer Decision for consideration to prevent soil migration into varying soil types
* Note: Backfill using controlled low-strength material (CLSM, "flash fill" or "flowable fill") when the spacing between the pipes will not allow for placement and adequate compaction of the backfill.			



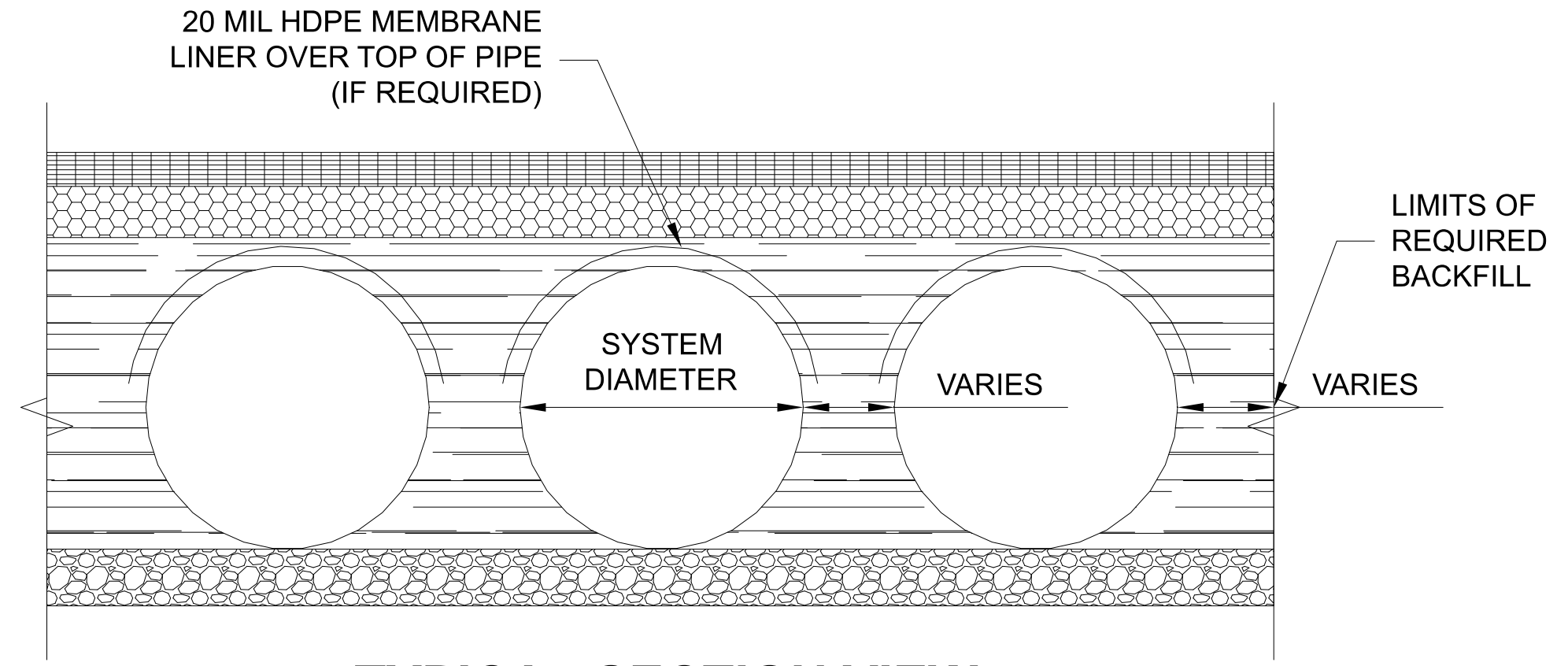
TYPICAL MANWAY DETAIL
SCALE: N.T.S.

NOTE: MANWAY DETAIL APPLICABLE FOR CMP SYSTEMS WITH DIAMETERS 48" AND LARGER. MANWAYS MAY BE REQUIRED ON SMALLER SYSTEMS DEPENDING ON ACTUAL SITE SPECIFIC CONDITIONS.



TYPICAL RISER DETAIL
SCALE: N.T.S.

NOTE: LADDERS ARE OPTIONAL AND ARE NOT REQUIRED FOR ALL SYSTEMS.



TYPICAL SECTION VIEW
LINER OVER ROWS
SCALE: N.T.S.

NOTE: IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, AN HDPE MEMBRANE LINER IS RECOMMENDED WITH THE SYSTEM. THE IMPERMEABLE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

1 MINIMUM WIDTH DEPENDS ON SITE CONDITIONS AND ENGINEERING JUDGEMENT

FOUNDATION/BEDDING PREPARATION

2 PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER.

5 HAUNCH ZONE MATERIAL SHALL BE PLACED AND UNIFORMLY COMPACTED WITHOUT SOFT SPOTS.

BACKFILL

WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

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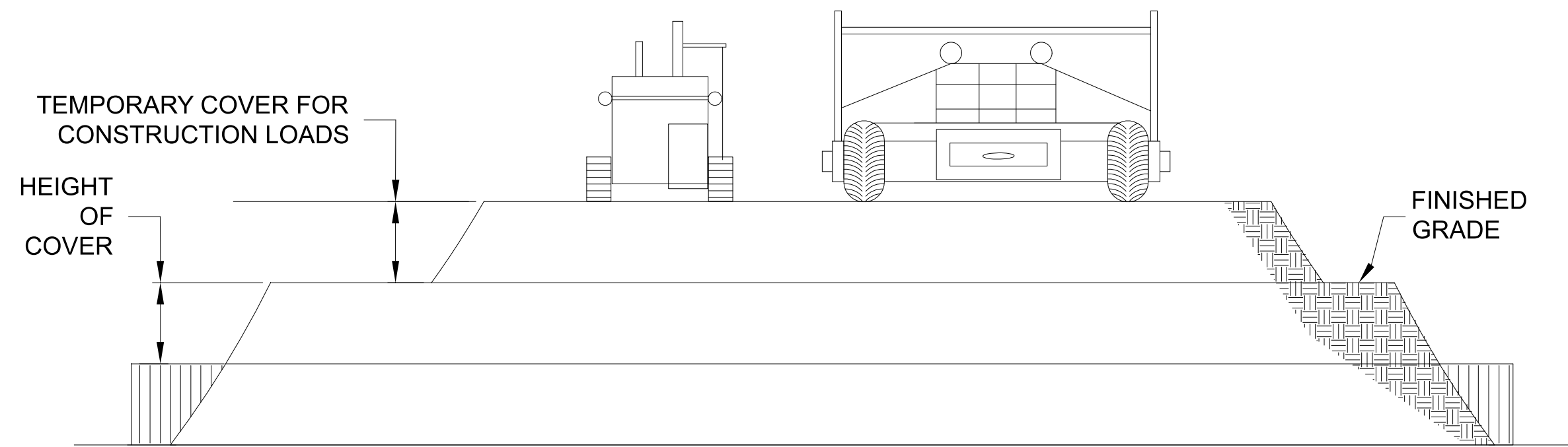
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CONTECH
CMP DETENTION SYSTEMS
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DYODS
DRAWING

DY07653 Krist Gas Station
North Detention
Iron River, MI
DETENTION SYSTEM

PROJECT No.: 4780	SEQ. No.: 7653	DATE: 5/12/2021
DESIGNED: DYO	DRAWN: DYO	
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SHEET NO.:		D2



CONSTRUCTION LOADS

FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

CONSTRUCTION LOADING DIAGRAM

SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM:

SCOPE
THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.

MATERIAL
THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.

THE GALVANIZED STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-218 OR ASTM A-929.

THE POLYMER COATED STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-246 OR ASTM A-742.

THE ALUMINUM COILS SHALL CONFORM TO THE APPLICABLE OF AASHTO M-197 OR ASTM B-744.

CONSTRUCTION LOADS
CONSTRUCTION LOADS MAY BE HIGHER THAN FINAL LOADS. FOLLOW THE MANUFACTURER'S OR NCSA GUIDELINES.

PIPE
THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2: AASHTO M-36 OR ASTM A-760

GALVANIZED: AASHTO M-36 OR ASTM A-760

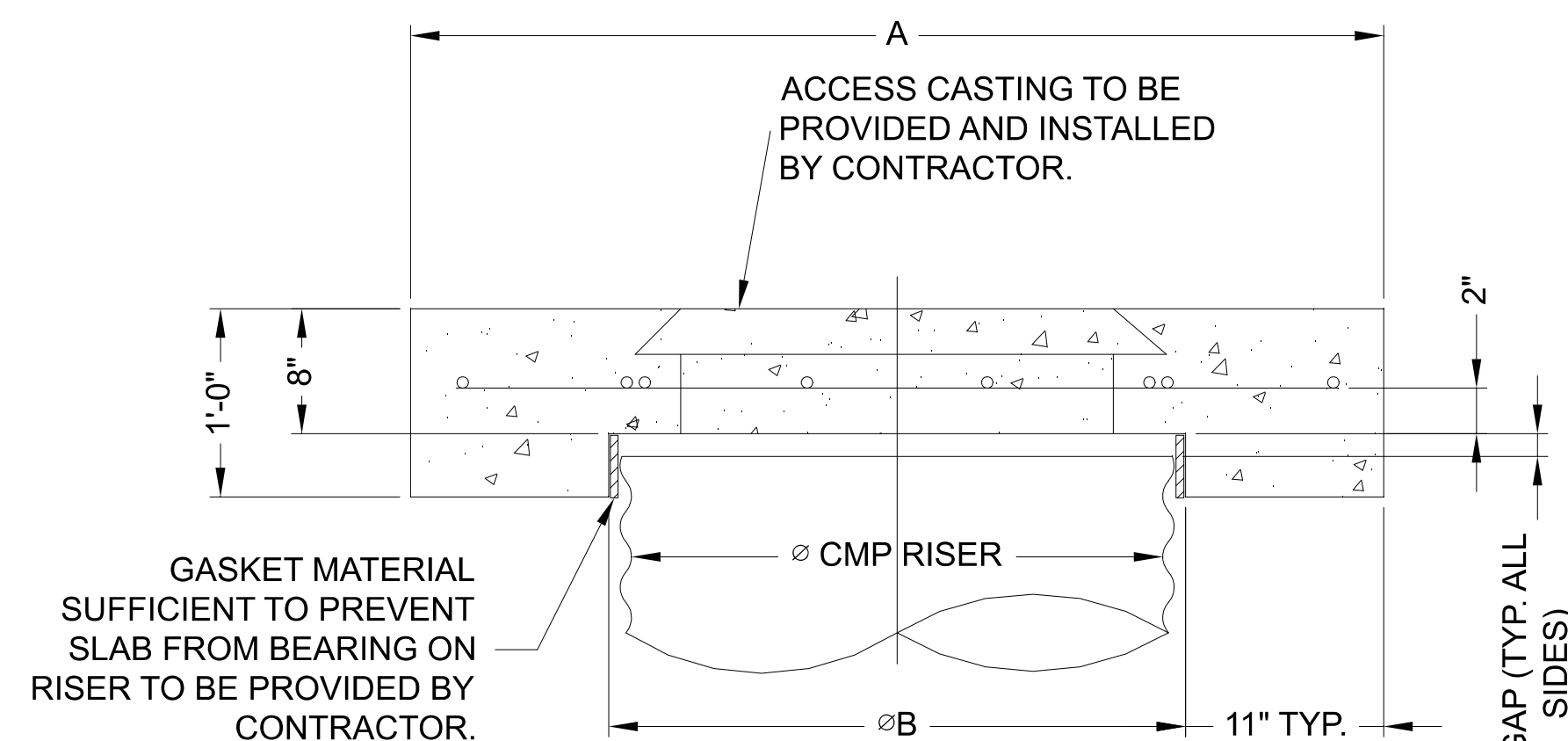
POLYMER COATED: AASHTO M-245 OR ASTM A-762

ALUMINUM: AASHTO M-196 OR ASTM B-745

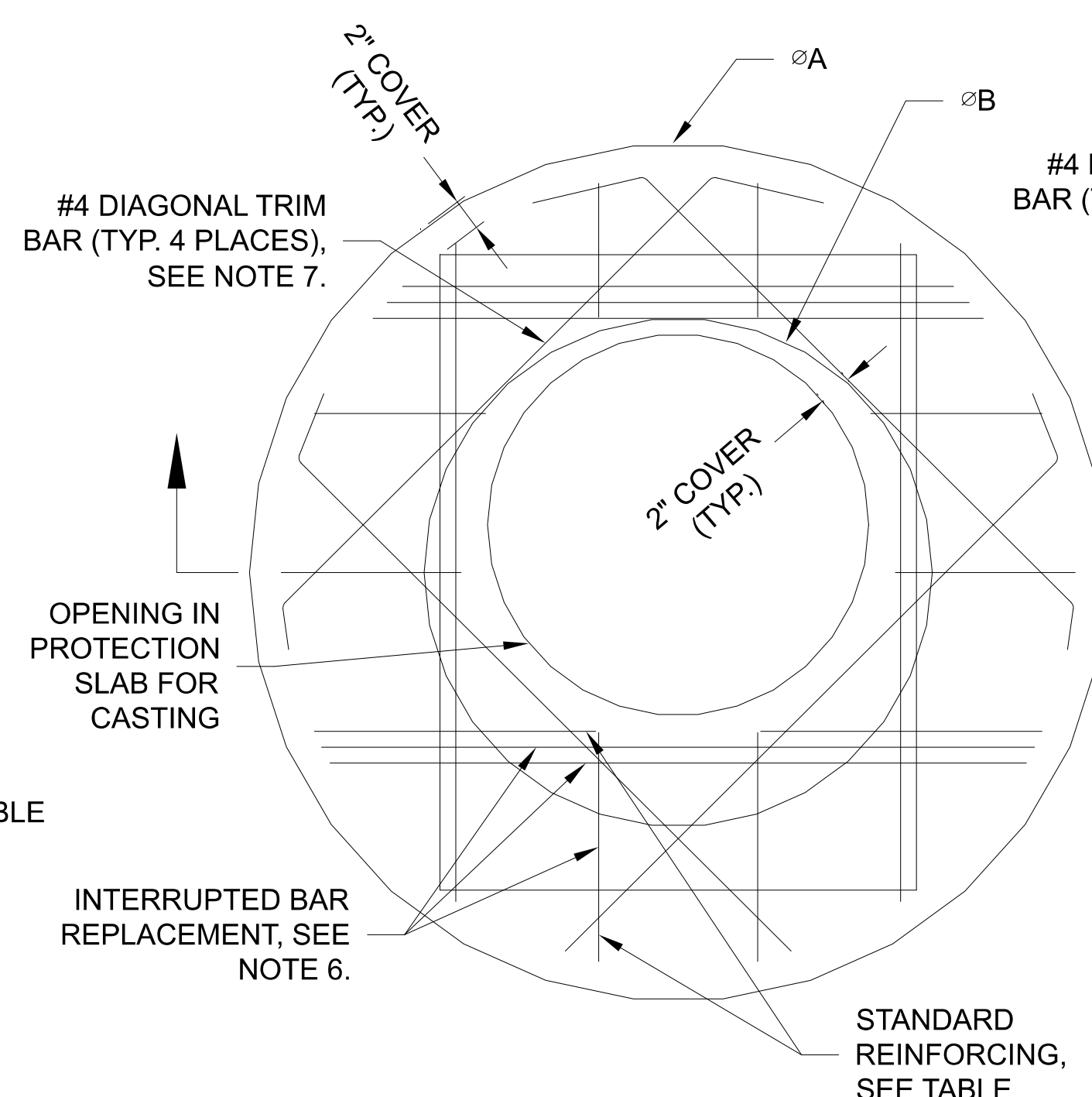
HANDLING AND ASSEMBLY
SHALL BE IN ACCORDANCE WITH NCSP'S (NATIONAL CORRUGATED STEEL ASSOCIATION) FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALUMINUM PIPE.

INSTALLATION
SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II DIVISION II OR ASTM A-798 (FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL) OR ASTM B-788 (FOR ALUMINUM PIPE) AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

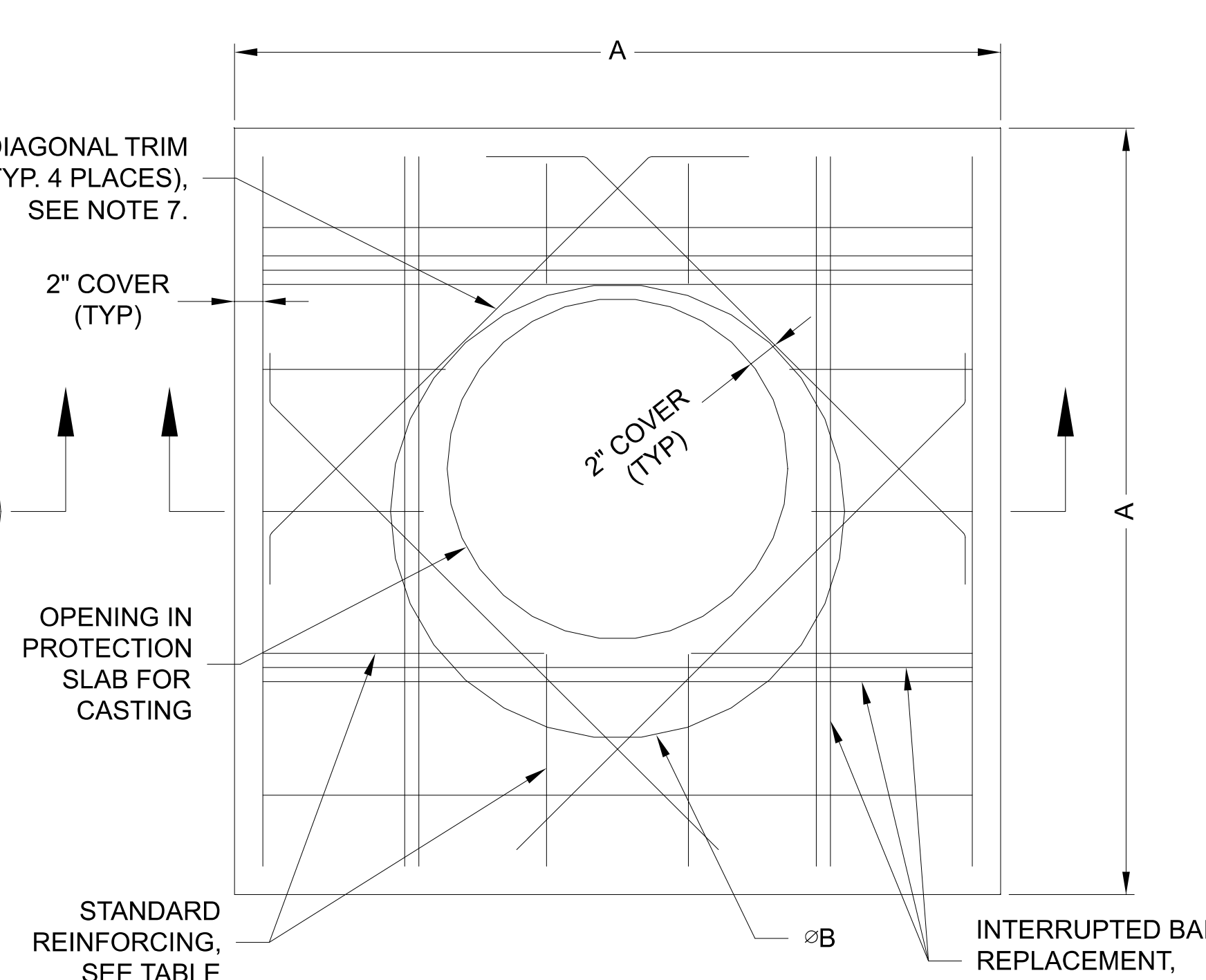
IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.



SECTION VIEW



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL

SCALE: N.T.S.

REINFORCING TABLE				
Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4'X4'	26"	#5 @ 12" OCEW #5 @ 12" OCEW	2,410 1,780
30"	Ø 4'-6" 4'-6" X 4'-6"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	Ø 5' X 5'	38"	#5 @ 10" OCEW #5 @ 10" OCEW	1,890 1,350
42"	Ø 5'-6" 5'-6" X 5'-6"	44"	#5 @ 10" OCEW #5 @ 9" OCEW	1,720 1,210
48"	Ø 6' X 6'	50"	#5 @ 9" OCEW #5 @ 8" OCEW	1,600 1,100

** ASSUMED SOIL BEARING CAPACITY

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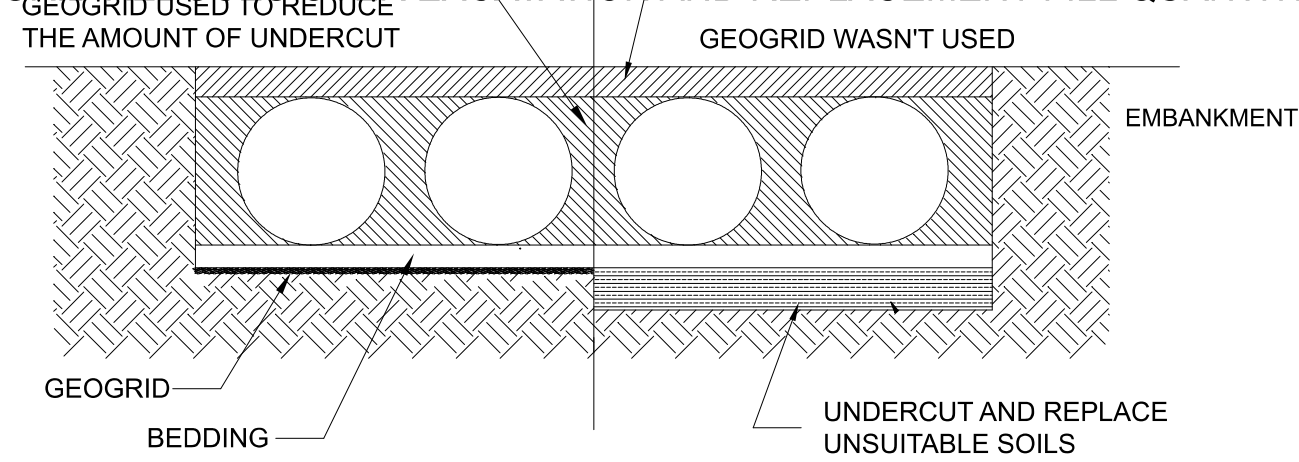
CMP DETENTION INSTALLATION GUIDE

PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION

CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.

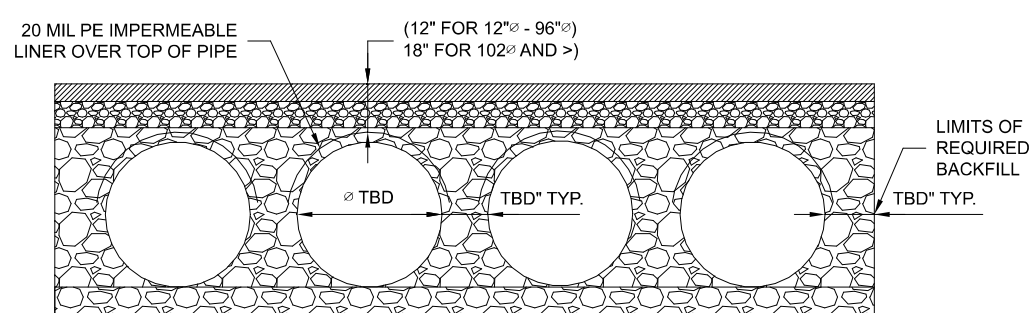
IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOGRID REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.



GRADE THE FOUNDATION SUBGRADE TO A UNIFORM OR SLIGHTLY SLOPING GRADE. IF THE SUBGRADE IS CLAY OR RELATIVELY NON-POROUS AND THE CONSTRUCTION SEQUENCE WILL LAST FOR AN EXTENDED PERIOD OF TIME, IT IS BEST TO SLOPE THE GRADE TO ONE END OF THE SYSTEM. THIS WILL ALLOW EXCESS WATER TO DRAIN QUICKLY, PREVENTING SATURATION OF THE SUBGRADE.

GEOMEMBRANE BARRIER

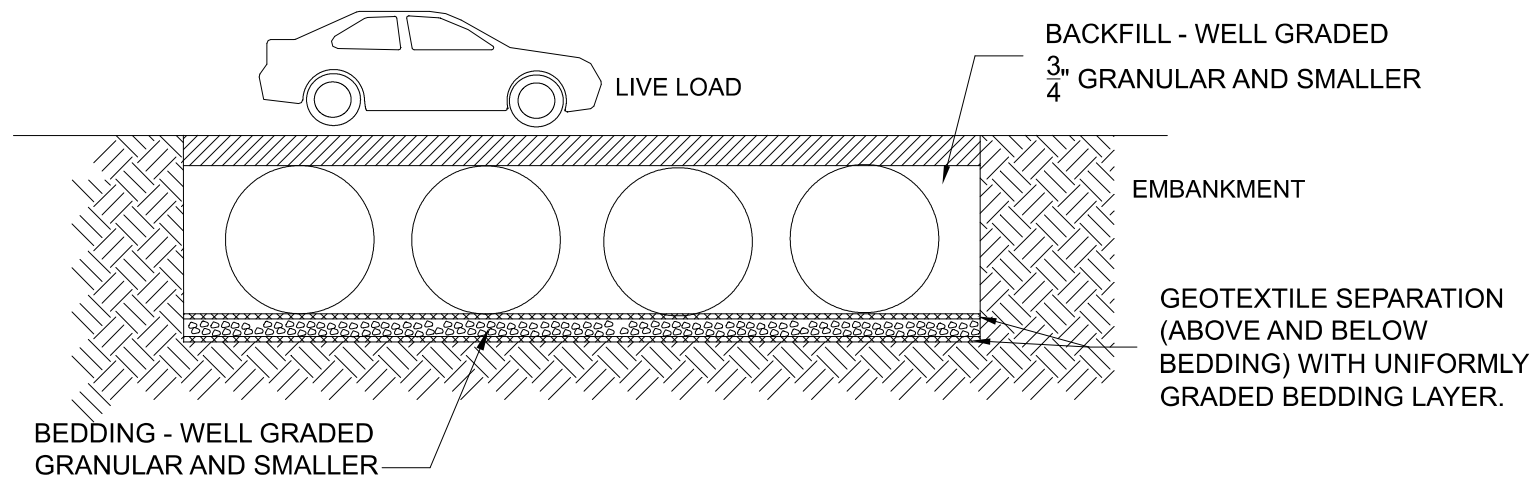
A SITE'S RESISTIVITY MAY CHANGE OVER TIME WHEN VARIOUS TYPES OF SALTING AGENTS ARE USED, SUCH AS ROAD SALTS FOR DEICING AGENTS. IF SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM THE USE OF SUCH AGENTS INCLUDING PREMATURE CORROSION AND REDUCED ACTUAL SERVICE LIFE. THE PROJECT'S ENGINEER OF RECORD IS TO EVALUATE WHETHER SALTING AGENTS WILL BE USED ON OR NEAR THE PROJECT SITE, AND USE HIS/HER BEST JUDGEMENT TO DETERMINE IF ANY ADDITIONAL PROTECTIVE MEASURES ARE REQUIRED. BELOW IS A TYPICAL DETAIL SHOWING THE PLACEMENT OF A GEOMEMBRANE BARRIER FOR PROJECTS WHERE SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE.



IN-SITU TRENCH WALL

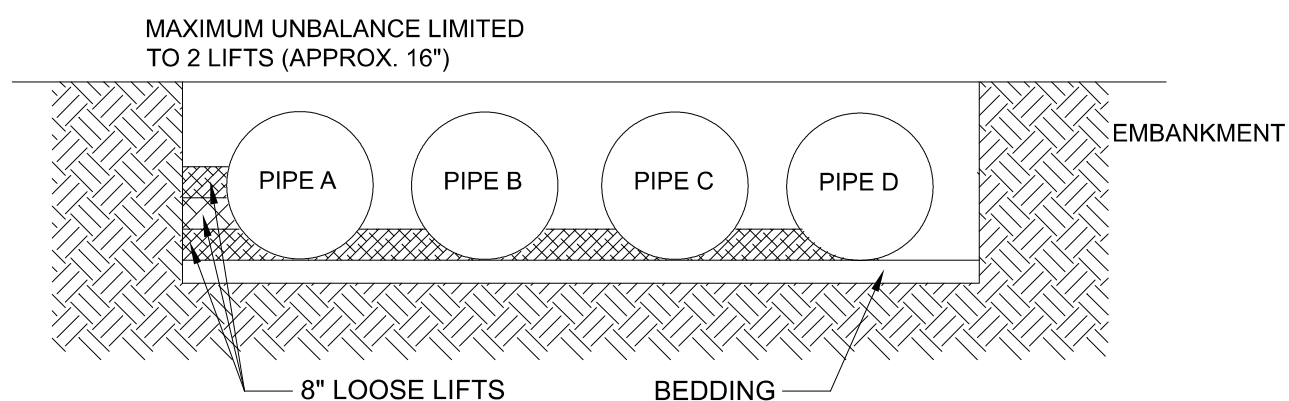
IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE SHEDS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT. PERFORM A SIMPLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES.

IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.



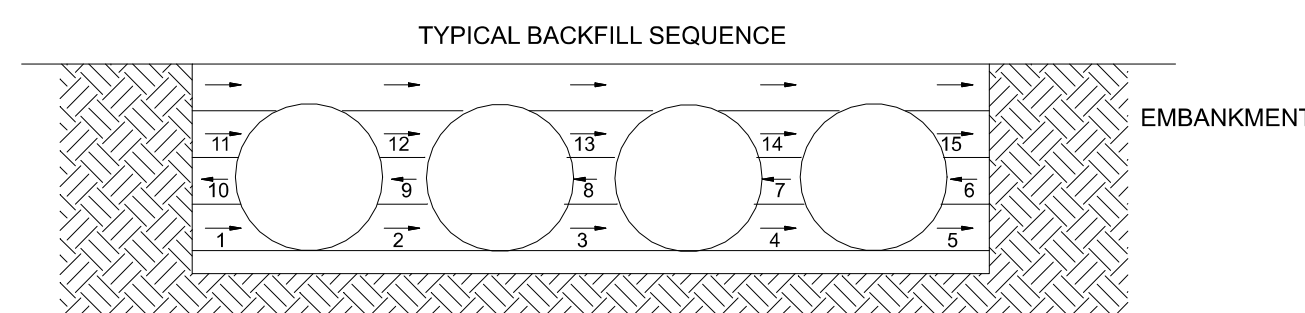
BACKFILL PLACEMENT

MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICING, RODDING, AIR TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS.

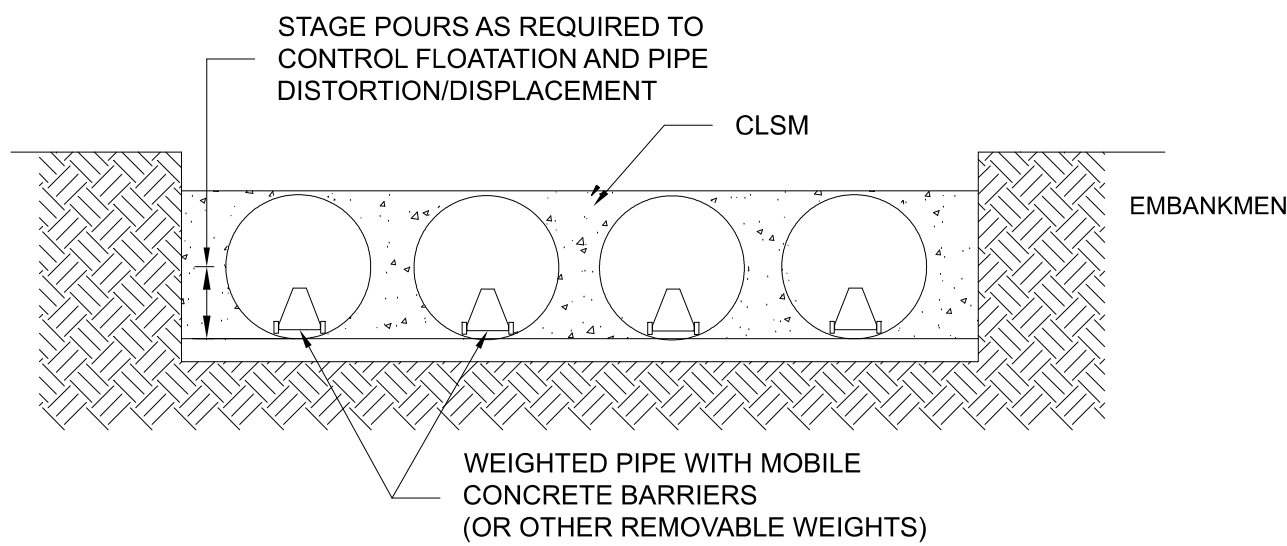


IF AASHTO T99 PROCEDURES ARE DETERMINED INFEASIBLE BY THE GEOTECHNICAL ENGINEER OF RECORD, COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE GEOTECHNICAL ENGINEER OF RECORD (OR REPRESENTATIVE THEREOF) IS SATISFIED WITH THE LEVEL OF COMPACTION.

FOR LARGE SYSTEMS, CONVEYOR SYSTEMS, BACKHOES WITH LONG REACHES OR DRAGLINES WITH STONE BUCKETS MAY BE USED TO PLACE BACKFILL. ONCE MINIMUM COVER FOR CONSTRUCTION LOADING ACROSS THE ENTIRE WIDTH OF THE SYSTEM IS REACHED, ADVANCE THE EQUIPMENT TO THE END OF THE RECENTLY PLACED FILL, AND BEGIN THE SEQUENCE AGAIN UNTIL THE SYSTEM IS COMPLETELY BACKFILLED. THIS TYPE OF CONSTRUCTION SEQUENCE PROVIDES ROOM FOR STOCKPILED BACKFILL DIRECTLY BEHIND THE BACKHOE, AS WELL AS THE MOVEMENT OF CONSTRUCTION TRAFFIC. MATERIAL STOCKPILES ON TOP OF THE BACKFILLED DETENTION SYSTEM SHOULD BE LIMITED TO 8- TO 10- FEET HIGH AND MUST PROVIDE BALANCED LOADING ACROSS ALL BARRELS. TO DETERMINE THE PROPER COVER OVER THE PIPES TO ALLOW THE MOVEMENT OF CONSTRUCTION EQUIPMENT SEE TABLE 1, OR CONTACT YOUR LOCAL CONTECH SALES ENGINEER.



WHEN FLOWABLE FILL IS USED, YOU MUST PREVENT PIPE FLOATATION. TYPICALLY, SMALL LIFTS ARE PLACED BETWEEN THE PIPES AND THEN ALLOWED TO SET-UP PRIOR TO THE PLACEMENT OF THE NEXT LIFT. THE ALLOWABLE THICKNESS OF THE CLSM LIFT IS A FUNCTION OF A PROPER BALANCE BETWEEN THE UPLIFT FORCE OF THE CLSM, THE OPPOSING WEIGHT OF THE PIPE, AND THE EFFECT OF OTHER RESTRAINING MEASURES. THE PIPE CAN CARRY LIMITED FLUID PRESSURE WITHOUT PIPE DISTORTION OR DISPLACEMENT, WHICH ALSO AFFECTS THE CLSM LIFT THICKNESS. YOUR LOCAL CONTECH SALES ENGINEER CAN HELP DETERMINE THE PROPER LIFT THICKNESS.

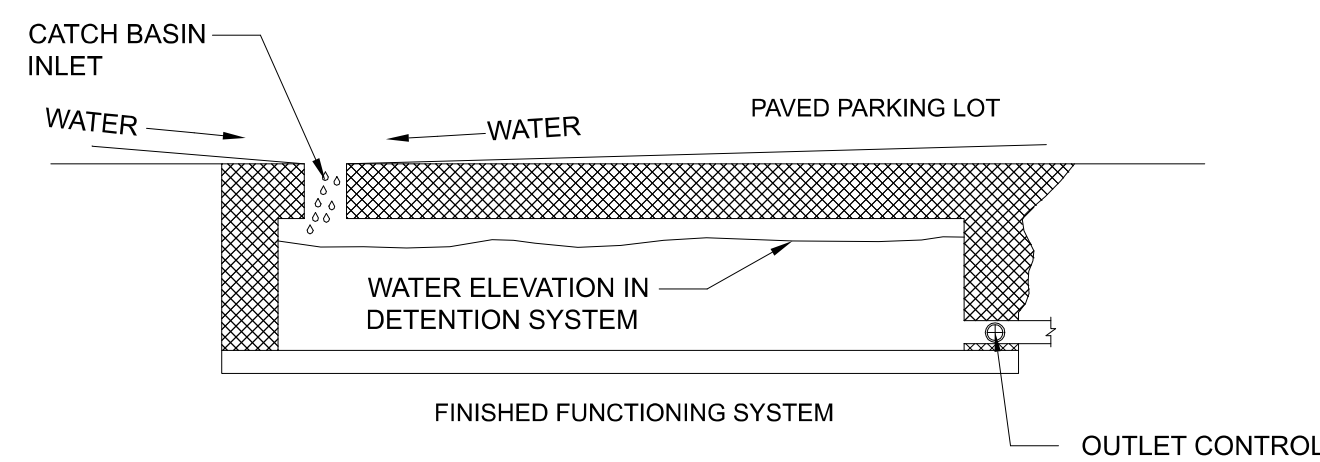


CONSTRUCTION LOADING

TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS

BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION; POTENTIALLY CAUSING FLOATATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE

UNDERGROUND STORMWATER DETENTION AND INFILTRATION SYSTEMS MUST BE INSPECTED AND MAINTAINED AT REGULAR INTERVALS FOR PURPOSES OF PERFORMANCE AND LONGEVITY.

INSPECTION

INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE OF CMP DETENTION SYSTEMS AND IS EASILY PERFORMED. CONTECH RECOMMENDS ONGOING, ANNUAL INSPECTIONS. SITES WITH HIGH TRASH LOAD OR SMALL OUTLET CONTROL ORIFICES MAY NEED MORE FREQUENT INSPECTIONS. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MORE ON SITE SPECIFIC ACTIVITIES RATHER THAN THE SIZE OR CONFIGURATION OF THE SYSTEM.

INSPECTIONS SHOULD BE PERFORMED MORE OFTEN IN EQUIPMENT WASHDOWN AREAS, IN CLIMATES WHERE SANDING AND/OR SALTING OPERATIONS TAKE PLACE, AND IN OTHER VARIOUS INSTANCES IN WHICH ONE WOULD EXPECT HIGHER ACCUMULATIONS OF SEDIMENT OR ABRASIVE/CORROSIVE CONDITIONS. A RECORD OF EACH INSPECTION IS TO BE MAINTAINED FOR THE LIFE OF THE SYSTEM

MAINTENANCE

CMP DETENTION SYSTEMS SHOULD BE CLEANED WHEN AN INSPECTION REVEALS ACCUMULATED SEDIMENT OR TRASH IS CLOGGING THE DISCHARGE ORIFICE.

ACCUMULATED SEDIMENT AND TRASH CAN TYPICALLY BE EVACUATED THROUGH THE MANHOLE OVER THE OUTLET ORIFICE. IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT AND TRASH MAY ACCUMULATE IN FRONT OF THE OUTLET ORIFICE. MANHOLE COVERS SHOULD BE SECURELY SEATED FOLLOWING CLEANING ACTIVITIES. CONTECH SUGGESTS THAT ALL SYSTEMS BE DESIGNED WITH AN ACCESS/INSPECTION MANHOLE SITUATED AT OR NEAR THE INLET AND THE OUTLET ORIFICE. SHOULD IT BE NECESSARY TO GET INSIDE THE SYSTEM TO PERFORM MAINTENANCE ACTIVITIES, ALL APPROPRIATE PRECAUTIONS REGARDING CONFINED SPACE ENTRY AND OSHA REGULATIONS SHOULD BE FOLLOWED.

ANNUAL INSPECTIONS ARE BEST PRACTICE FOR ALL UNDERGROUND SYSTEMS. DURING THIS INSPECTION, IF EVIDENCE OF SALTING/DE-ICING AGENTS IS OBSERVED WITHIN THE SYSTEM, IT IS BEST PRACTICE FOR THE SYSTEM TO BE RINSED, INCLUDING ABOVE THE SPRING LINE SOON AFTER THE SPRING THAW AS PART OF THE MAINTENANCE PROGRAM FOR THE SYSTEM.

MAINTAINING AN UNDERGROUND DETENTION OR INFILTRATION SYSTEM IS EASIEST WHEN THERE IS NO FLOW ENTERING THE SYSTEM. FOR THIS REASON, IT IS A GOOD IDEA TO SCHEDULE THE CLEANOUT DURING DRY WEATHER.

THE FOREGOING INSPECTION AND MAINTENANCE EFFORTS HELP ENSURE UNDERGROUND PIPE SYSTEMS USED FOR STORMWATER STORAGE CONTINUE TO FUNCTION AS INTENDED BY IDENTIFYING RECOMMENDED REGULAR INSPECTION AND MAINTENANCE PRACTICES. INSPECTION AND MAINTENANCE RELATED TO THE STRUCTURAL INTEGRITY OF THE PIPE OR THE SOUNDNESS OF PIPE JOINT CONNECTIONS IS BEYOND THE SCOPE OF THIS GUIDE.

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CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DY07653 Krist Gas Station
North Detention
Iron River, MI
DETENTION SYSTEM

PROJECT No.: 4780	SEQ. No.: 7653	DATE: 5/12/2021
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.:		D4

PROJECT SUMMARY

CALCULATION DETAILS

- LOADING = HS20 & HS25
- APPROX. LINEAR FOOTAGE = 1,505 lf.

STORAGE SUMMARY

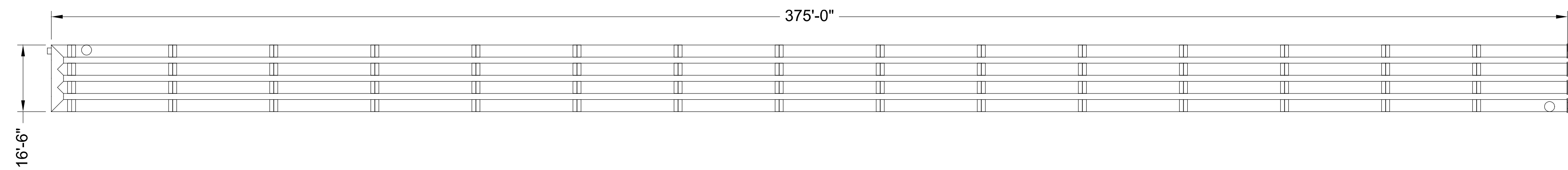
- STORAGE VOLUME REQUIRED = 10,630 cf.
- PIPE STORAGE VOLUME = 10,635 cf.
- BACKFILL STORAGE VOLUME = 0 cf.
- TOTAL STORAGE PROVIDED = 10,635 cf.

PIPE DETAILS

- DIAMETER = 30 IN.
- CORRUGATION = 2 2/3x1/2
- GAGE = 16
- COATING = ALT2
- WALL TYPE = Solid
- BARRELL SPACING = 15 IN.

BACKFILL DETAILS

- WIDTH AT ENDS = 12 IN.
- ABOVE PIPE = 0 IN.
- WIDTH AT SIDES = 12 IN.
- BELOW PIPE = 0 IN.



NOTES


- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD PRIOR TO RELEASING FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
- ALL RISERS AND STUBS ARE 2 2/3" x 1/2" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
- RISERS TO BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUB FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BAND TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYODS DESIGN, QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SHORING AND ONLY ACCOUNTS FOR MATERIAL WITHIN THE ESTIMATED EXCAVATION FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.

ASSEMBLY
SCALE: 1" = 40'

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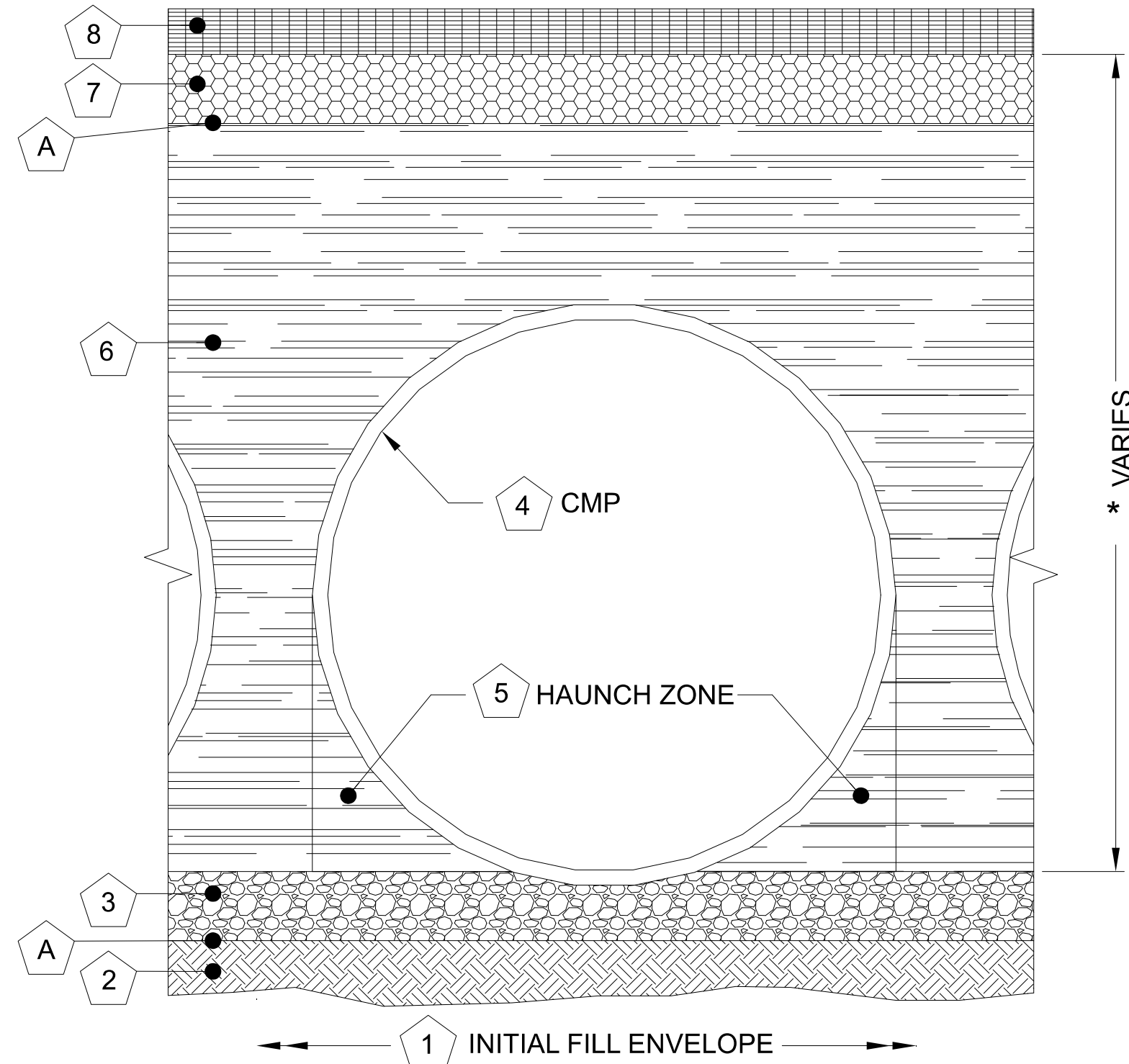
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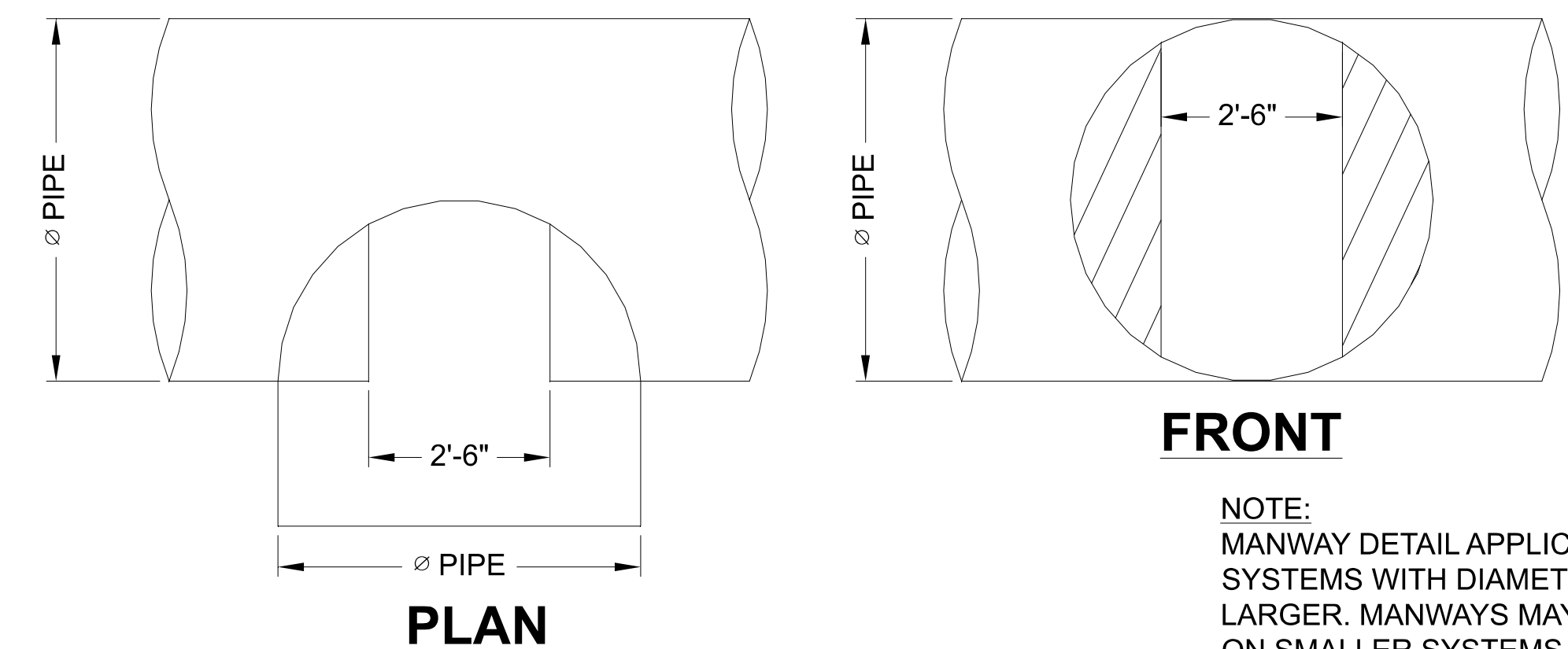

CMP DETENTION SYSTEMS
 CONTECH
DYODS
 DRAWING

DY07677 Krist Gas Station
South Detention
Iron River, MI
DETENTION SYSTEM

PROJECT No.: 4780	SEQ. No.: 7677	DATE: 5/12/2021
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.:		D1

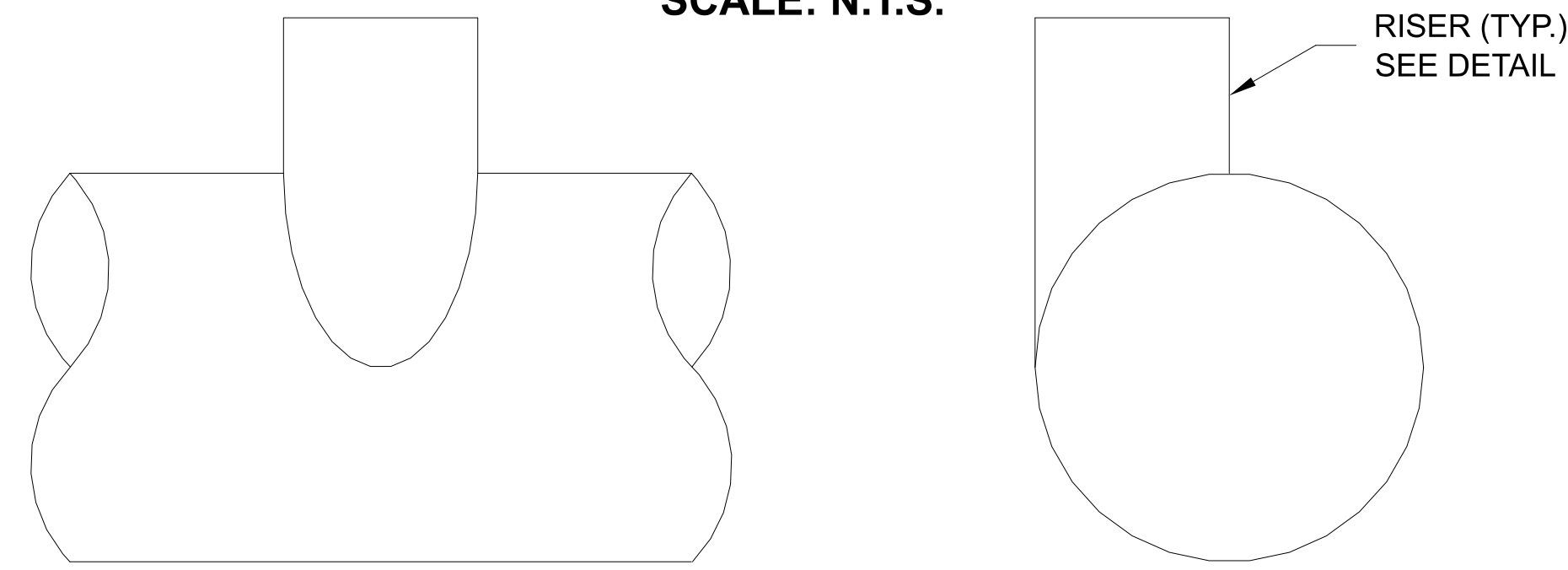


DETENTION SYSTEMS - CMP DETENTION / CMP DRAINAGE			
Material Location	Description	Material Designation	Designation
8	Rigid or Flexible Pavement (if applicable)		
7	Road Base (if applicable)		
A	Geotextile Layer	Non-Woven Geotextile	CONTECH C-40 or C-45
6	Backfill	Well graded granular material which may contain small amounts of silt or clay.	AASHTO M 145- A-1, A-2, A-3
6	Bedding Stone	Well graded granular bedding material w/maximum particle size of 3"	AASHTO M43 - 3,357,4,467, 5, 56, 57
3			Engineer to determine if bedding is required. Pipe may be placed on the trench bottom of a relatively loose, native suitable well graded & granular material. For Arch pipes it is recommended to be shaped to a relatively flat bottom or fine-grade the foundation to a slight v-shape. Unsuitable material should be over-excavated and re-placed with a 4"-6" layer of well graded & granular stone per the material designation. See AASHTO 26.3.8.1 / 26.5.3 Bedding info.
A	Geotextile Layer	Non-Woven Geotextile	CONTECH C-40 or C-45
* Note: Backfill using controlled low-strength material (CLSM, "flash fill" or "flowable fill") when the spacing between the pipes will not allow for placement and adequate compaction of the backfill.			



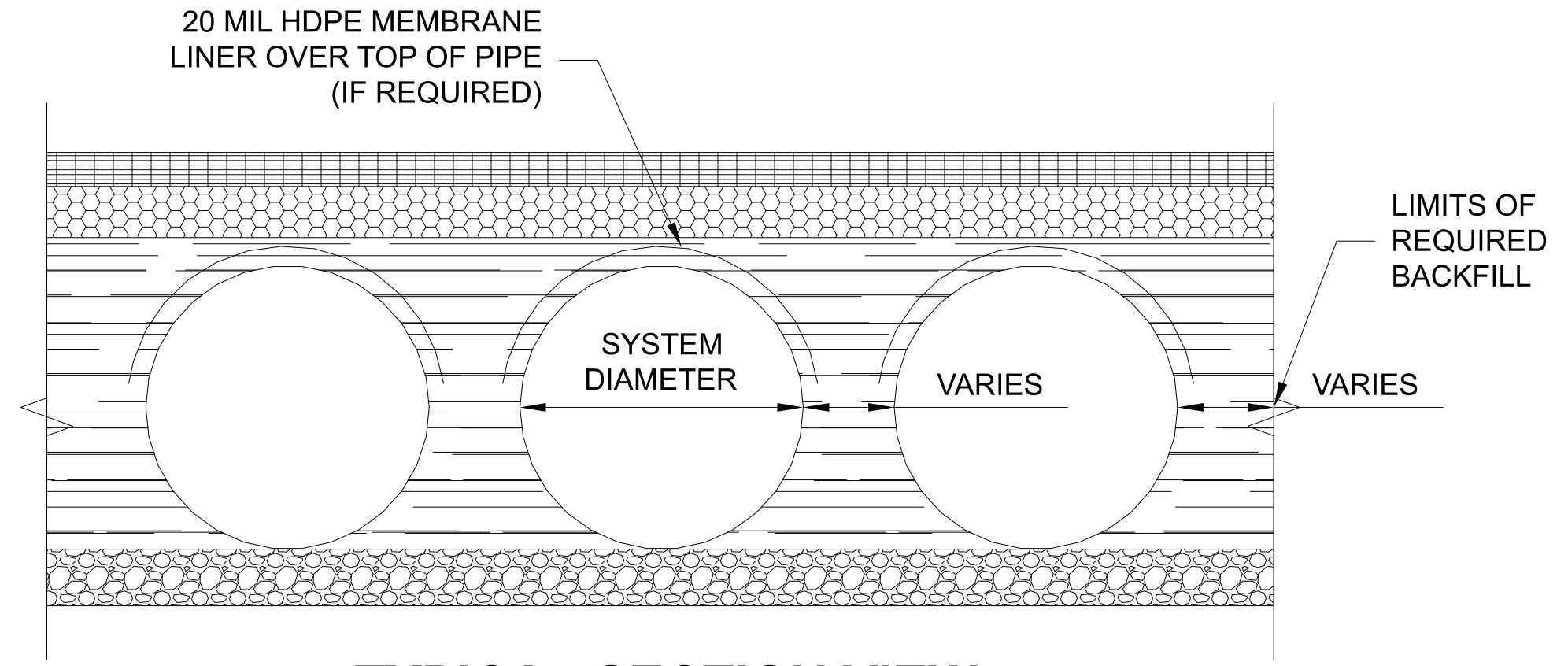
TYPICAL MANWAY DETAIL

NOTE: MANWAY DETAIL APPLICABLE FOR CMP SYSTEMS WITH DIAMETERS 48" AND LARGER. MANWAYS MAY BE REQUIRED ON SMALLER SYSTEMS DEPENDING ON ACTUAL SITE SPECIFIC CONDITIONS.



TYPICAL RISER DETAIL

NOTE: LADDERS ARE OPTIONAL AND ARE NOT REQUIRED FOR ALL SYSTEMS.



TYPICAL SECTION VIEW

LINER OVER ROWS
SCALE: N.T.S.

NOTE: IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, AN HDPE MEMBRANE LINER IS RECOMMENDED WITH THE SYSTEM. THE IMPERMEABLE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

1 MINIMUM WIDTH DEPENDS ON SITE CONDITIONS AND ENGINEERING JUDGEMENT

FOUNDATION/BEDDING PREPARATION

2 PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND BROUGHT BACK TO THE GRADE WITH A FILL MATERIAL AS APPROVED BY THE ENGINEER.

5 HAUNCH ZONE MATERIAL SHALL BE PLACED AND UNIFORMLY COMPACTED WITHOUT SOFT SPOTS.

BACKFILL

WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A TWO LIFT (16") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHALL BE ADVANCED ALONG THE LENGTH OF THE DETENTION SYSTEM AT THE SAME RATE TO AVOID DIFFERENTIAL LOADING ON THE PIPE.

OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.

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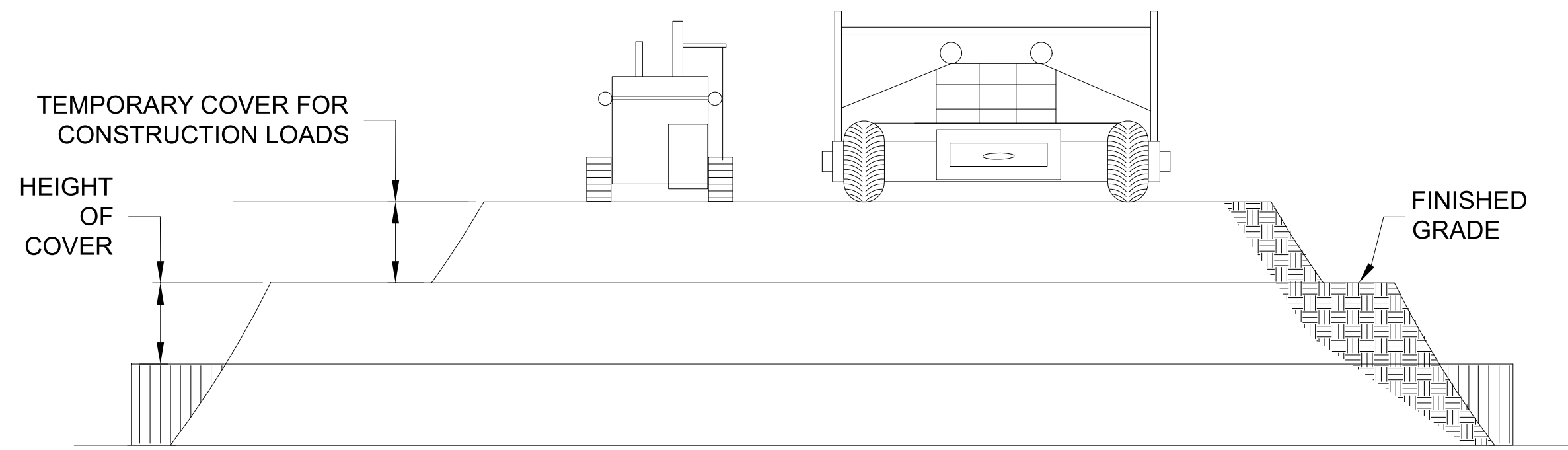
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DY07677 Krist Gas Station
South Detention
Iron River, MI
DETENTION SYSTEM

PROJECT No.: 4780	SEQ. No.: 7677	DATE: 5/12/2021
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.:		D2



CONSTRUCTION LOADS

FOR TEMPORARY CONSTRUCTION VEHICLE LOADS, AN EXTRA AMOUNT OF COMPACTED COVER MAY BE REQUIRED OVER THE TOP OF THE PIPE. THE HEIGHT-OF-COVER SHALL MEET THE MINIMUM REQUIREMENTS SHOWN IN THE TABLE BELOW. THE USE OF HEAVY CONSTRUCTION EQUIPMENT NECESSITATES GREATER PROTECTION FOR THE PIPE THAN FINISHED GRADE COVER MINIMUMS FOR NORMAL HIGHWAY TRAFFIC.

PIPE SPAN, INCHES	AXLE LOADS (kips)			
	18-50	50-75	75-110	110-150
	MINIMUM COVER (FT)			
12-42	2.0	2.5	3.0	3.0
48-72	3.0	3.0	3.5	4.0
78-120	3.0	3.5	4.0	4.0
126-144	3.5	4.0	4.5	4.5

*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

CONSTRUCTION LOADING DIAGRAM

SCALE: N.T.S.

SPECIFICATION FOR DESIGNED DETENTION SYSTEM:

SCOPE
THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE DESIGNED DETENTION SYSTEM DETAILED IN THE PROJECT PLANS.

MATERIAL
THE MATERIAL SHALL CONFORM TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-274 OR ASTM A-92.

THE GALVANIZED STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-218 OR ASTM A-929.

THE POLYMER COATED STEEL COILS SHALL CONFORM TO THE REQUIREMENTS OF AASHTO M-246 OR ASTM A-742.

THE ALUMINUM COILS SHALL CONFORM TO THE APPLICABLE OF AASHTO M-197 OR ASTM B-744.

CONSTRUCTION LOADS
CONSTRUCTION LOADS MAY BE HIGHER THAN FINAL LOADS. FOLLOW THE MANUFACTURER'S OR NCSA GUIDELINES.

PIPE
THE PIPE SHALL BE MANUFACTURED IN ACCORDANCE TO THE APPLICABLE REQUIREMENTS LISTED BELOW:

ALUMINIZED TYPE 2: AASHTO M-36 OR ASTM A-760

GALVANIZED: AASHTO M-36 OR ASTM A-760

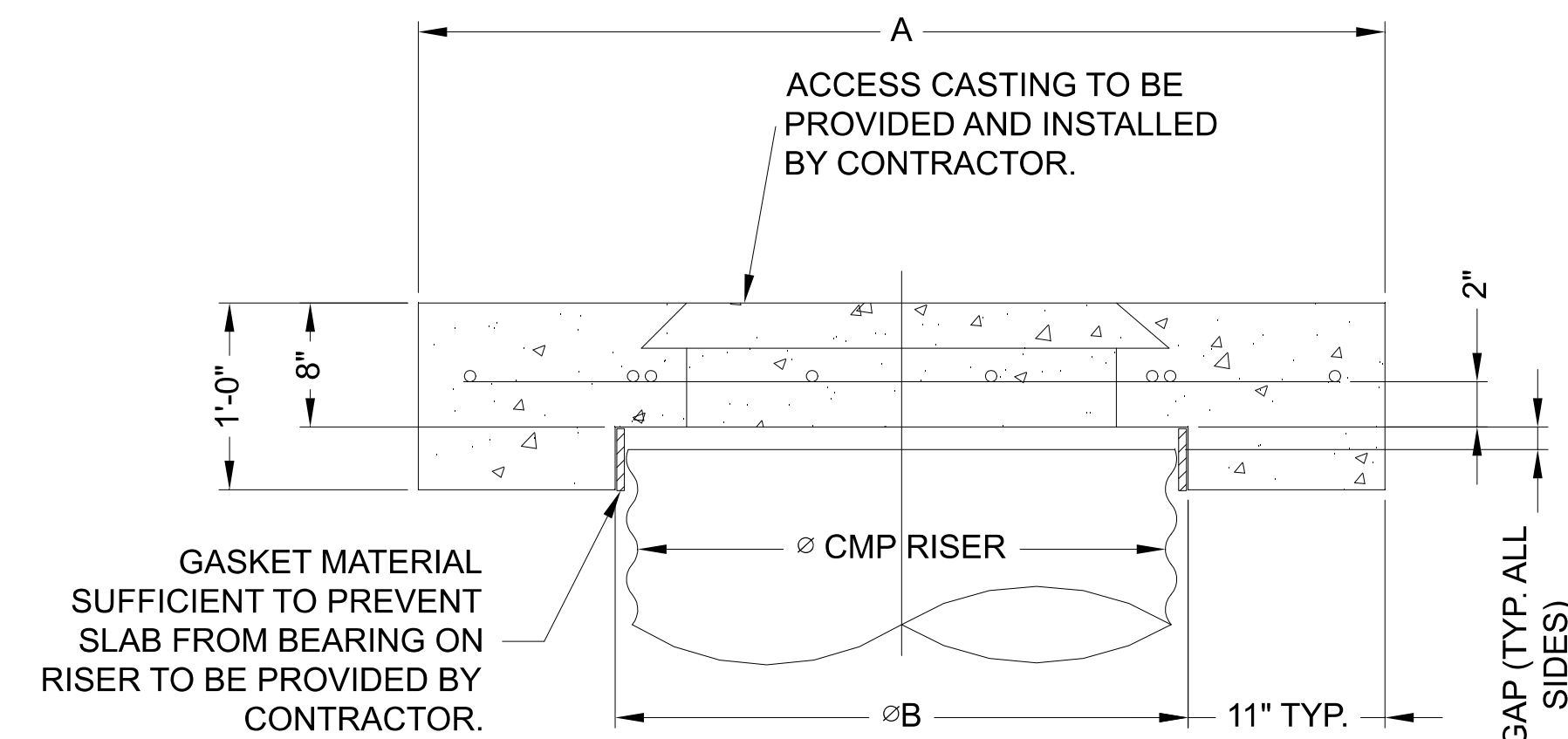
POLYMER COATED: AASHTO M-245 OR ASTM A-762

ALUMINUM: AASHTO M-196 OR ASTM B-745

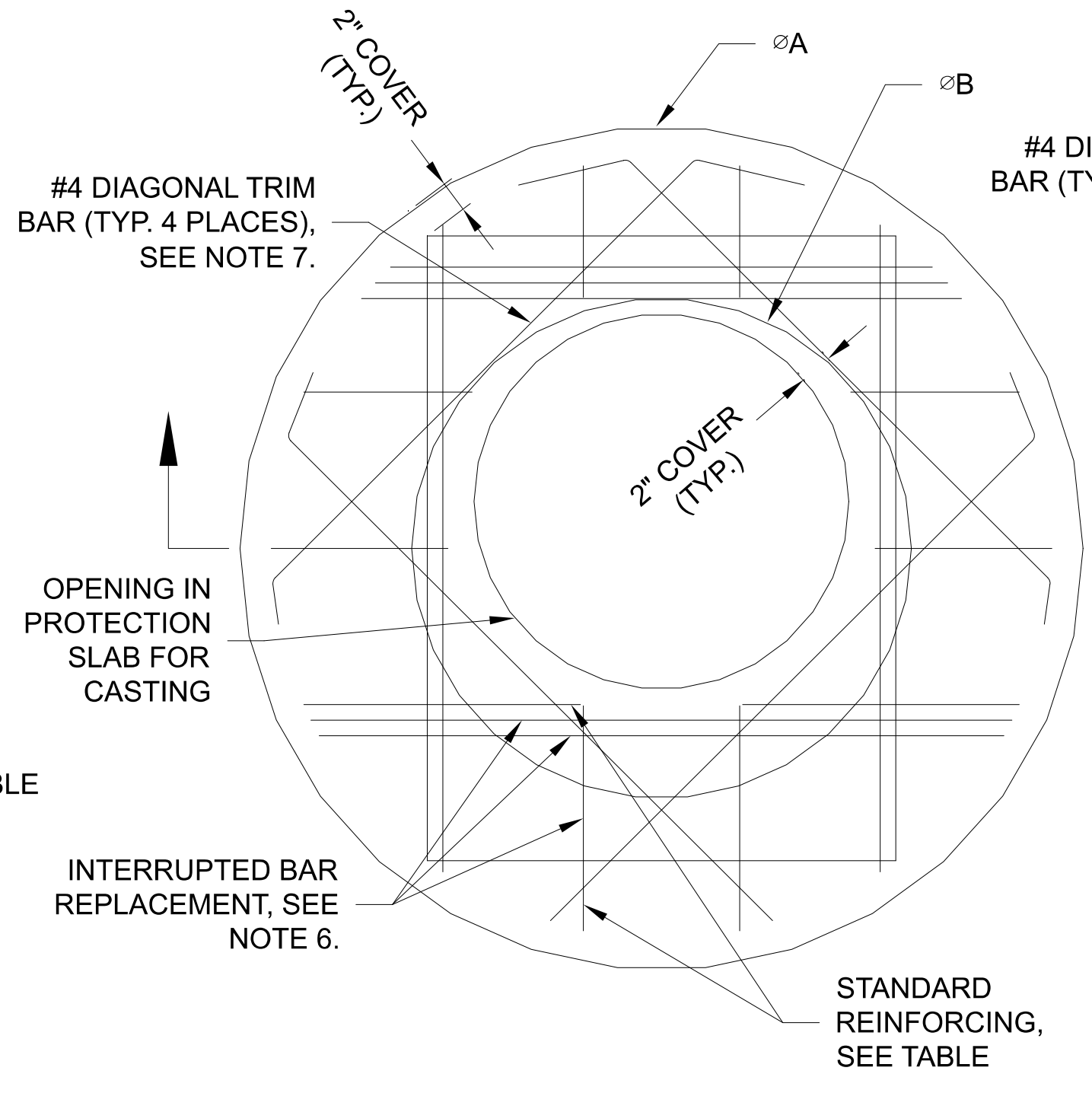
HANDLING AND ASSEMBLY
SHALL BE IN ACCORDANCE WITH NCSP'S (NATIONAL CORRUGATED STEEL ASSOCIATION) FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL. SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR ALUMINUM PIPE.

INSTALLATION
SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II DIVISION II OR ASTM A-798 (FOR ALUMINIZED TYPE 2, GALVANIZED OR POLYMER COATED STEEL) OR ASTM B-788 (FOR ALUMINUM PIPE) AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

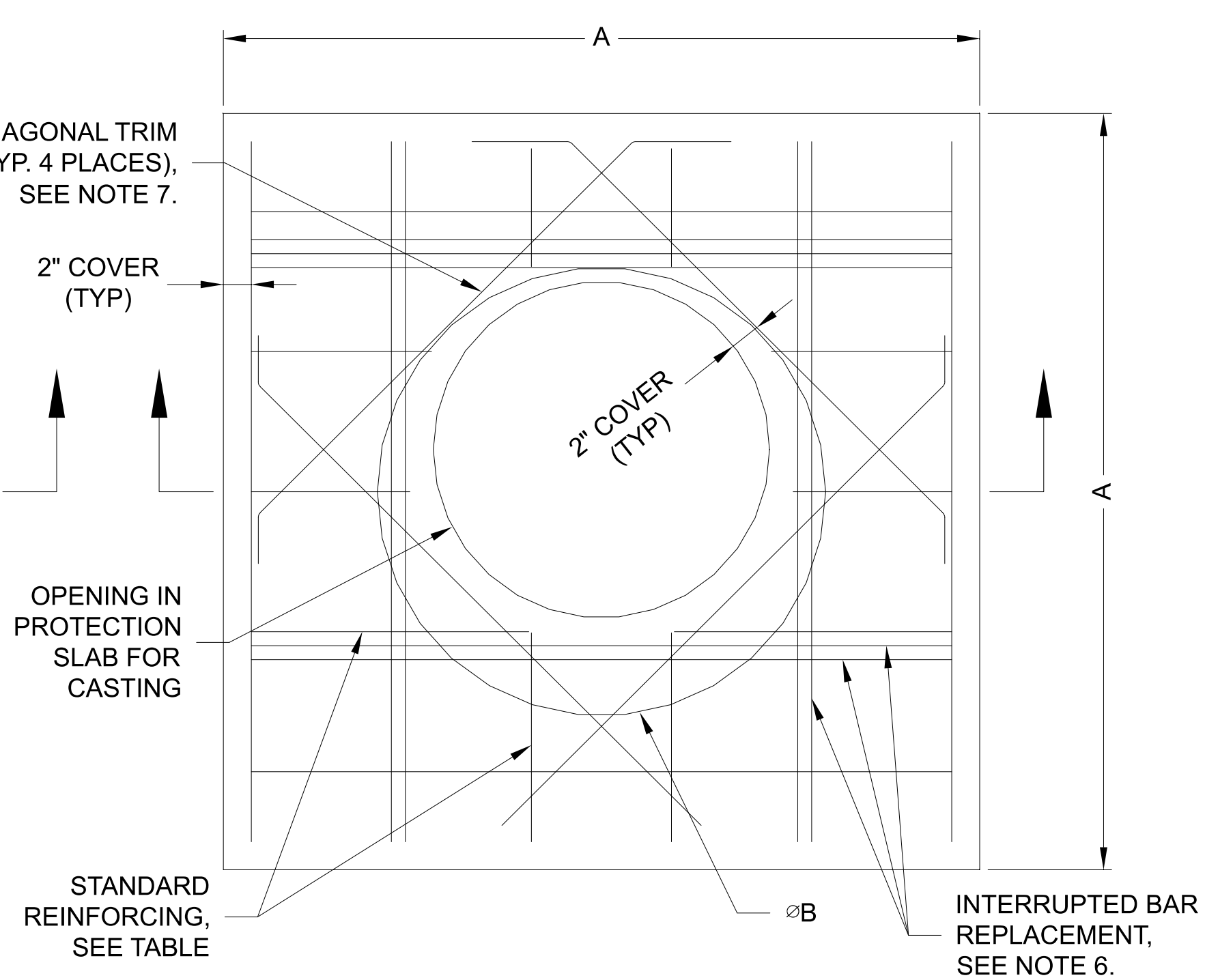
IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.



SECTION VIEW



ROUND OPTION PLAN VIEW



SQUARE OPTION PLAN VIEW

NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17th EDITION.
- DESIGN LOAD HS25.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 3,500 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERING, BINGHAMTON, NY.

MANHOLE CAP DETAIL

SCALE: N.T.S.

Ø CMP RISER	A	Ø B	REINFORCING	**BEARING PRESSURE (PSF)
24"	Ø 4' 4'X4'	26"	#5 @ 12" OCEW #5 @ 12" OCEW	2,410 1,780
30"	Ø 4'-6" 4'-6" X 4'-6"	32"	#5 @ 12" OCEW #5 @ 12" OCEW	2,120 1,530
36"	Ø 5' X 5'	38"	#5 @ 10" OCEW #5 @ 10" OCEW	1,890 1,350
42"	Ø 5'-6" 5'-6" X 5'-6"	44"	#5 @ 10" OCEW #5 @ 9" OCEW	1,720 1,210
48"	Ø 6' X 6'	50"	#5 @ 9" OCEW #5 @ 8" OCEW	1,600 1,100

** ASSUMED SOIL BEARING CAPACITY

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South Detention
Iron River, MI
DETENTION SYSTEM

PROJECT No.: 4780	SEQ. No.: 7677	DATE: 5/12/2021
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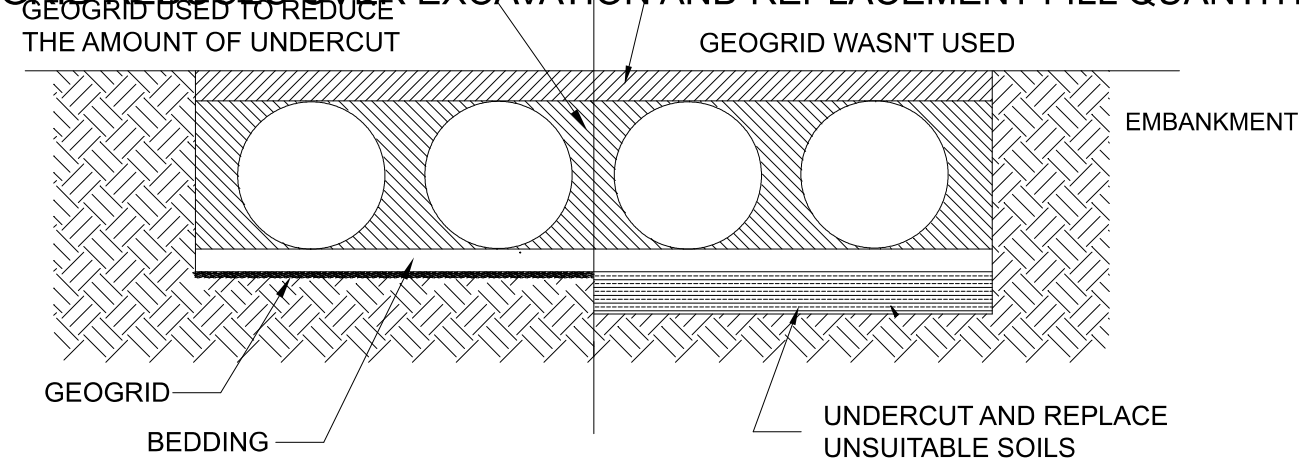
CMP DETENTION INSTALLATION GUIDE

PROPER INSTALLATION OF A FLEXIBLE UNDERGROUND DETENTION SYSTEM WILL ENSURE LONG-TERM PERFORMANCE. THE CONFIGURATION OF THESE SYSTEMS OFTEN REQUIRES SPECIAL CONSTRUCTION PRACTICES THAT DIFFER FROM CONVENTIONAL FLEXIBLE PIPE CONSTRUCTION. CONTECH ENGINEERED SOLUTIONS STRONGLY SUGGESTS SCHEDULING A PRE-CONSTRUCTION MEETING WITH YOUR LOCAL SALES ENGINEER TO DETERMINE IF ADDITIONAL MEASURES, NOT COVERED IN THIS GUIDE, ARE APPROPRIATE FOR YOUR SITE.

FOUNDATION

CONSTRUCT A FOUNDATION THAT CAN SUPPORT THE DESIGN LOADING APPLIED BY THE PIPE AND ADJACENT BACKFILL WEIGHT AS WELL AS MAINTAIN ITS INTEGRITY DURING CONSTRUCTION.

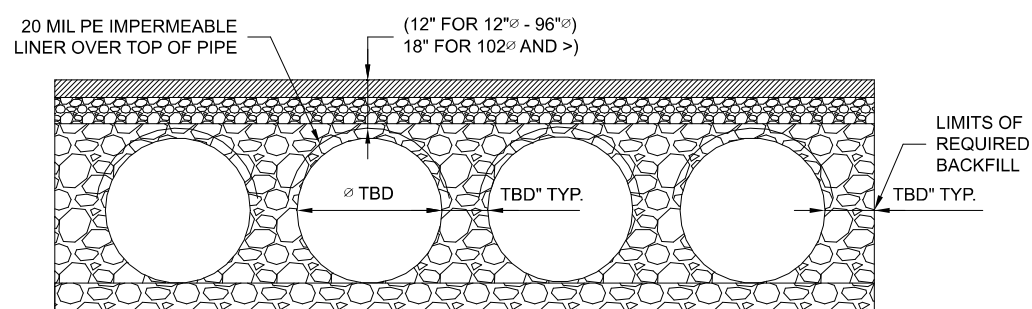
IF SOFT OR UNSUITABLE SOILS ARE ENCOUNTERED, REMOVE THE POOR SOILS DOWN TO A SUITABLE DEPTH AND THEN BUILD UP TO THE APPROPRIATE ELEVATION WITH A COMPETENT BACKFILL MATERIAL. THE STRUCTURAL FILL MATERIAL GRADATION SHOULD NOT ALLOW THE MIGRATION OF FINES, WHICH CAN CAUSE SETTLEMENT OF THE DETENTION SYSTEM OR PAVEMENT ABOVE. IF THE STRUCTURAL FILL MATERIAL IS NOT COMPATIBLE WITH THE UNDERLYING SOILS AN ENGINEERING FABRIC SHOULD BE USED AS A SEPARATOR. IN SOME CASES, USING A STIFF REINFORCING GEOGRID REDUCES OVER EXCAVATION AND REPLACEMENT FILL QUANTITIES.



GRADE THE FOUNDATION SUBGRADE TO A UNIFORM OR SLIGHTLY SLOPING GRADE. IF THE SUBGRADE IS CLAY OR RELATIVELY NON-POROUS AND THE CONSTRUCTION SEQUENCE WILL LAST FOR AN EXTENDED PERIOD OF TIME, IT IS BEST TO SLOPE THE GRADE TO ONE END OF THE SYSTEM. THIS WILL ALLOW EXCESS WATER TO DRAIN QUICKLY, PREVENTING SATURATION OF THE SUBGRADE.

GEOMEMBRANE BARRIER

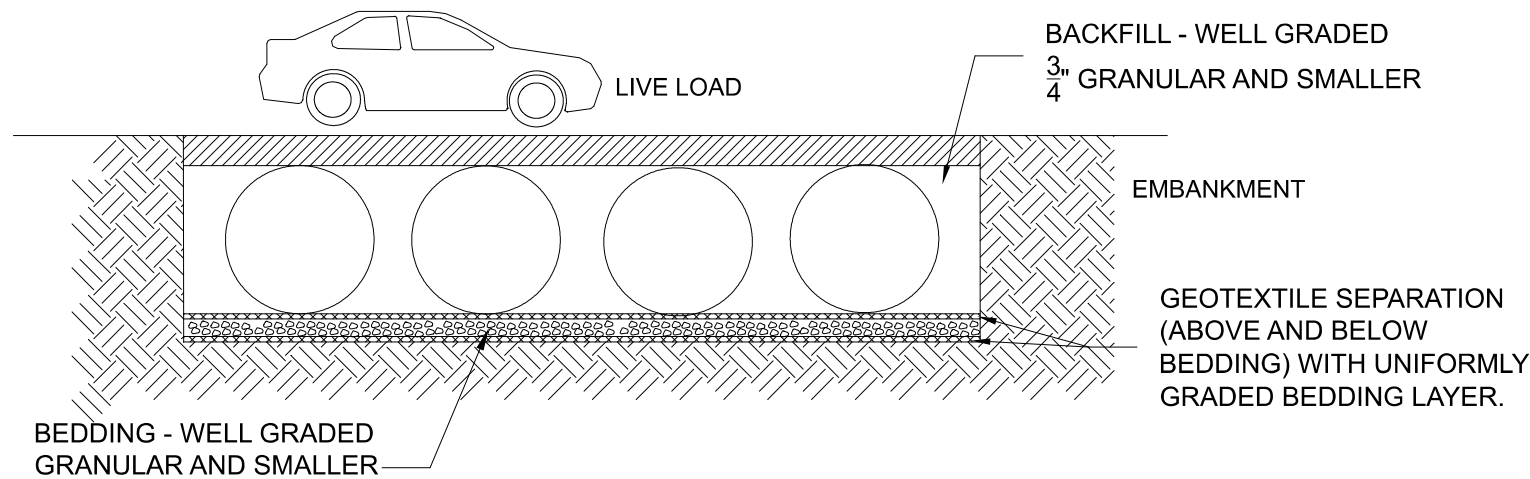
A SITE'S RESISTIVITY MAY CHANGE OVER TIME WHEN VARIOUS TYPES OF SALTING AGENTS ARE USED, SUCH AS ROAD SALTS FOR DEICING AGENTS. IF SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE, A GEOMEMBRANE BARRIER IS RECOMMENDED WITH THE SYSTEM. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM THE USE OF SUCH AGENTS INCLUDING PREMATURE CORROSION AND REDUCED ACTUAL SERVICE LIFE. THE PROJECT'S ENGINEER OF RECORD IS TO EVALUATE WHETHER SALTING AGENTS WILL BE USED ON OR NEAR THE PROJECT SITE, AND USE HIS/HER BEST JUDGEMENT TO DETERMINE IF ANY ADDITIONAL PROTECTIVE MEASURES ARE REQUIRED. BELOW IS A TYPICAL DETAIL SHOWING THE PLACEMENT OF A GEOMEMBRANE BARRIER FOR PROJECTS WHERE SALTING AGENTS ARE USED ON OR NEAR THE PROJECT SITE.



IN-SITU TRENCH WALL

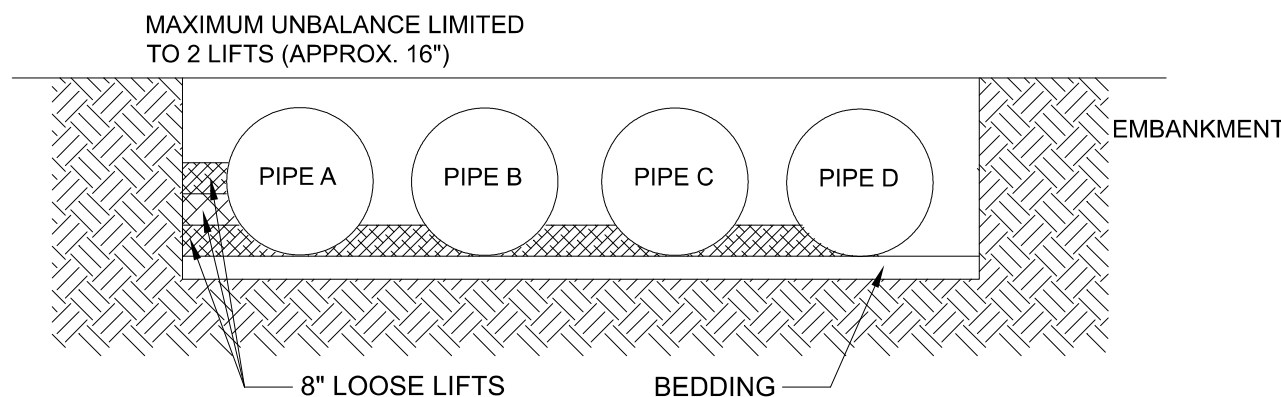
IF EXCAVATION IS REQUIRED, THE TRENCH WALL NEEDS TO BE CAPABLE OF SUPPORTING THE LOAD THAT THE PIPE SHEDS AS THE SYSTEM IS LOADED. IF SOILS ARE NOT CAPABLE OF SUPPORTING THESE LOADS, THE PIPE CAN DEFLECT. PERFORM A SIMPLE SOIL PRESSURE CHECK USING THE APPLIED LOADS TO DETERMINE THE LIMITS OF EXCAVATION BEYOND THE SPRING LINE OF THE OUTER MOST PIPES.

IN MOST CASES THE REQUIREMENTS FOR A SAFE WORK ENVIRONMENT AND PROPER BACKFILL PLACEMENT AND COMPACTION TAKE CARE OF THIS CONCERN.



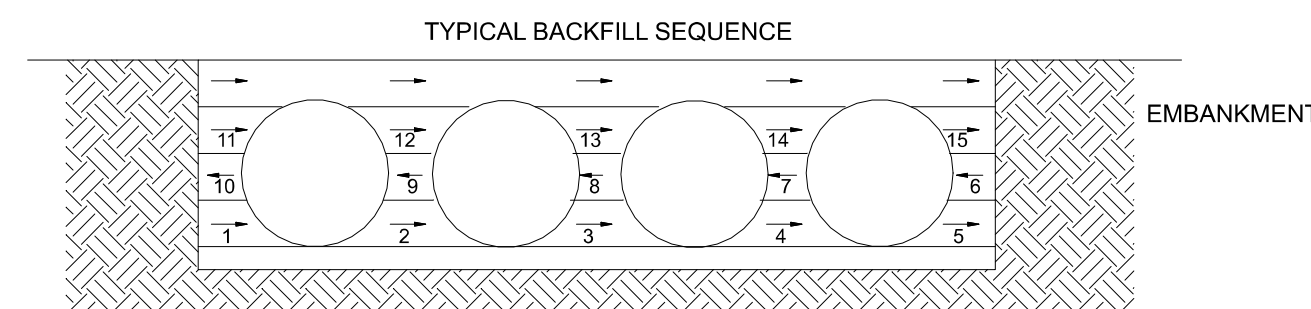
BACKFILL PLACEMENT

MATERIAL SHALL BE WORKED INTO THE PIPE HAUNCHES BY MEANS OF SHOVEL-SLICING, RODDING, AIR TAMPER, VIBRATORY ROD, OR OTHER EFFECTIVE METHODS.

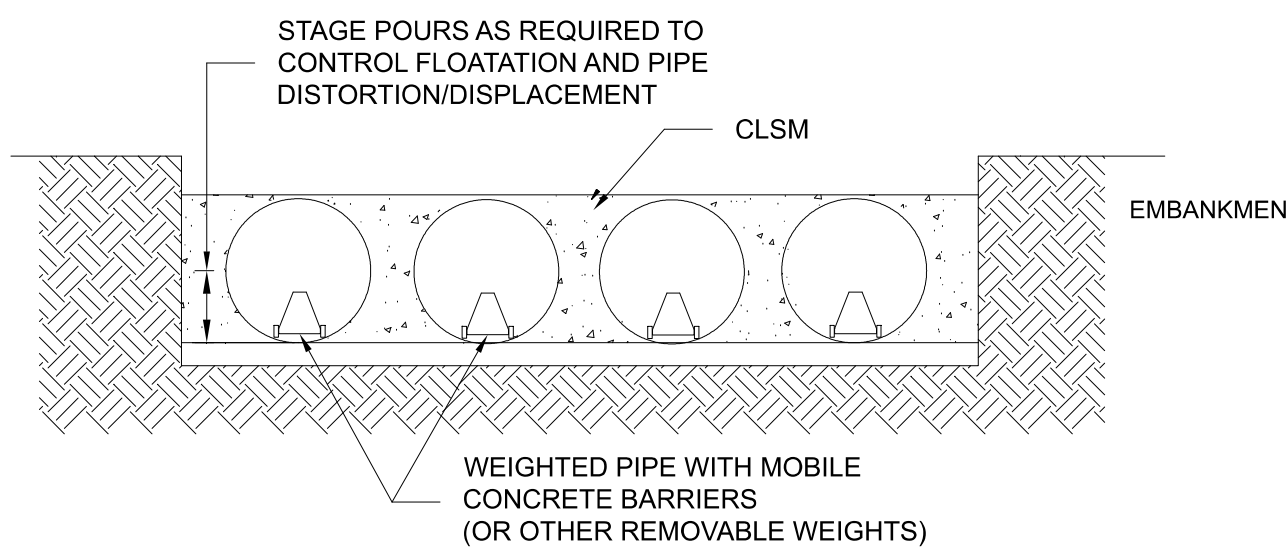


IF AASHTO T99 PROCEDURES ARE DETERMINED INFEASIBLE BY THE GEOTECHNICAL ENGINEER OF RECORD, COMPACTION IS CONSIDERED ADEQUATE WHEN NO FURTHER YIELDING OF THE MATERIAL IS OBSERVED UNDER THE COMPACTOR, OR UNDER FOOT, AND THE GEOTECHNICAL ENGINEER OF RECORD (OR REPRESENTATIVE THEREOF) IS SATISFIED WITH THE LEVEL OF COMPACTION.

FOR LARGE SYSTEMS, CONVEYOR SYSTEMS, BACKHOES WITH LONG REACHES OR DRAGLINES WITH STONE BUCKETS MAY BE USED TO PLACE BACKFILL. ONCE MINIMUM COVER FOR CONSTRUCTION LOADING ACROSS THE ENTIRE WIDTH OF THE SYSTEM IS REACHED, ADVANCE THE EQUIPMENT TO THE END OF THE RECENTLY PLACED FILL, AND BEGIN THE SEQUENCE AGAIN UNTIL THE SYSTEM IS COMPLETELY BACKFILLED. THIS TYPE OF CONSTRUCTION SEQUENCE PROVIDES ROOM FOR STOCKPILED BACKFILL DIRECTLY BEHIND THE BACKHOE, AS WELL AS THE MOVEMENT OF CONSTRUCTION TRAFFIC. MATERIAL STOCKPILES ON TOP OF THE BACKFILLED DETENTION SYSTEM SHOULD BE LIMITED TO 8- TO 10- FEET HIGH AND MUST PROVIDE BALANCED LOADING ACROSS ALL BARRELS. TO DETERMINE THE PROPER COVER OVER THE PIPES TO ALLOW THE MOVEMENT OF CONSTRUCTION EQUIPMENT SEE TABLE 1, OR CONTACT YOUR LOCAL CONTECH SALES ENGINEER.



WHEN FLOWABLE FILL IS USED, YOU MUST PREVENT PIPE FLOATATION. TYPICALLY, SMALL LIFTS ARE PLACED BETWEEN THE PIPES AND THEN ALLOWED TO SET-UP PRIOR TO THE PLACEMENT OF THE NEXT LIFT. THE ALLOWABLE THICKNESS OF THE CLSM LIFT IS A FUNCTION OF A PROPER BALANCE BETWEEN THE UPLIFT FORCE OF THE CLSM, THE OPPOSING WEIGHT OF THE PIPE, AND THE EFFECT OF OTHER RESTRAINING MEASURES. THE PIPE CAN CARRY LIMITED FLUID PRESSURE WITHOUT PIPE DISTORTION OR DISPLACEMENT, WHICH ALSO AFFECTS THE CLSM LIFT THICKNESS. YOUR LOCAL CONTECH SALES ENGINEER CAN HELP DETERMINE THE PROPER LIFT THICKNESS.

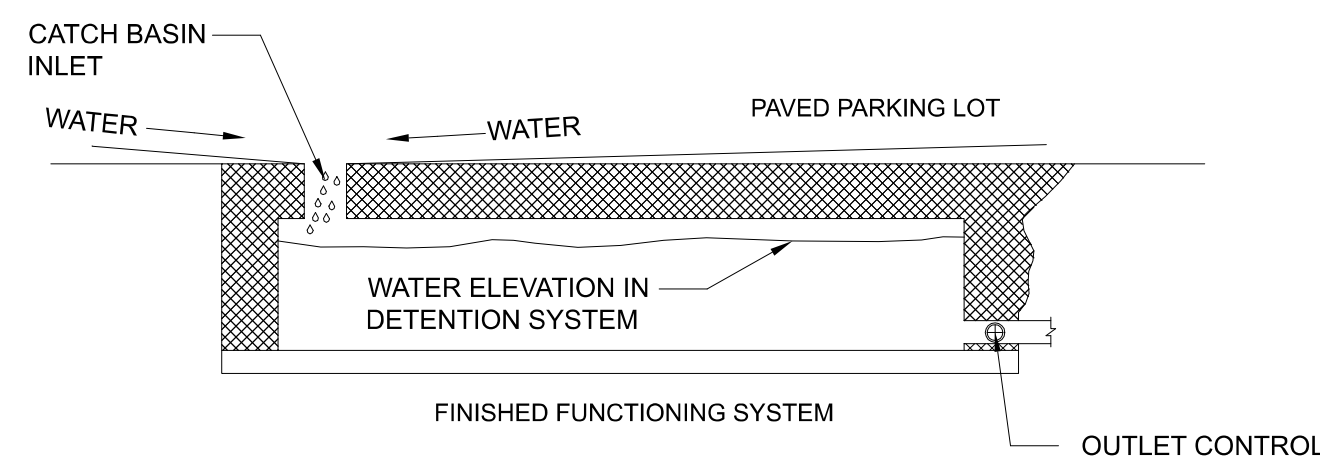


CONSTRUCTION LOADING

TYPICALLY, THE MINIMUM COVER SPECIFIED FOR A PROJECT ASSUMES H-20 LIVE LOAD. BECAUSE CONSTRUCTION LOADS OFTEN EXCEED DESIGN LIVE LOADS, INCREASED TEMPORARY MINIMUM COVER REQUIREMENTS ARE NECESSARY. SINCE CONSTRUCTION EQUIPMENT VARIES FROM JOB TO JOB, IT IS BEST TO ADDRESS EQUIPMENT SPECIFIC MINIMUM COVER REQUIREMENTS WITH YOUR LOCAL CONTECH SALES ENGINEER DURING YOUR PRE-CONSTRUCTION MEETING.

ADDITIONAL CONSIDERATIONS

BECAUSE MOST SYSTEMS ARE CONSTRUCTED BELOW-GRADE, RAINFALL CAN RAPIDLY FILL THE EXCAVATION; POTENTIALLY CAUSING FLOATATION AND MOVEMENT OF THE PREVIOUSLY PLACED PIPES. TO HELP MITIGATE POTENTIAL PROBLEMS, IT IS BEST TO START THE INSTALLATION AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR THE WATER TO ESCAPE. TEMPORARY DIVERSION MEASURES MAY BE REQUIRED FOR HIGH FLOWS DUE TO THE RESTRICTED NATURE OF THE OUTLET PIPE.



CMP DETENTION SYSTEM INSPECTION AND MAINTENANCE

UNDERGROUND STORMWATER DETENTION AND INFILTRATION SYSTEMS MUST BE INSPECTED AND MAINTAINED AT REGULAR INTERVALS FOR PURPOSES OF PERFORMANCE AND LONGEVITY.

INSPECTION

INSPECTION IS THE KEY TO EFFECTIVE MAINTENANCE OF CMP DETENTION SYSTEMS AND IS EASILY PERFORMED. CONTECH RECOMMENDS ONGOING, ANNUAL INSPECTIONS. SITES WITH HIGH TRASH LOAD OR SMALL OUTLET CONTROL ORIFICES MAY NEED MORE FREQUENT INSPECTIONS. THE RATE AT WHICH THE SYSTEM COLLECTS POLLUTANTS WILL DEPEND MORE ON SITE SPECIFIC ACTIVITIES RATHER THAN THE SIZE OR CONFIGURATION OF THE SYSTEM.

INSPECTIONS SHOULD BE PERFORMED MORE OFTEN IN EQUIPMENT WASHDOWN AREAS, IN CLIMATES WHERE SANDING AND/OR SALTING OPERATIONS TAKE PLACE, AND IN OTHER VARIOUS INSTANCES IN WHICH ONE WOULD EXPECT HIGHER ACCUMULATIONS OF SEDIMENT OR ABRASIVE/CORROSIVE CONDITIONS. A RECORD OF EACH INSPECTION IS TO BE MAINTAINED FOR THE LIFE OF THE SYSTEM

MAINTENANCE

CMP DETENTION SYSTEMS SHOULD BE CLEANED WHEN AN INSPECTION REVEALS ACCUMULATED SEDIMENT OR TRASH IS CLOGGING THE DISCHARGE ORIFICE.

ACCUMULATED SEDIMENT AND TRASH CAN TYPICALLY BE EVACUATED THROUGH THE MANHOLE OVER THE OUTLET ORIFICE. IF MAINTENANCE IS NOT PERFORMED AS RECOMMENDED, SEDIMENT AND TRASH MAY ACCUMULATE IN FRONT OF THE OUTLET ORIFICE. MANHOLE COVERS SHOULD BE SECURELY SEATED FOLLOWING CLEANING ACTIVITIES. CONTECH SUGGESTS THAT ALL SYSTEMS BE DESIGNED WITH AN ACCESS/INSPECTION MANHOLE SITUATED AT OR NEAR THE INLET AND THE OUTLET ORIFICE. SHOULD IT BE NECESSARY TO GET INSIDE THE SYSTEM TO PERFORM MAINTENANCE ACTIVITIES, ALL APPROPRIATE PRECAUTIONS REGARDING CONFINED SPACE ENTRY AND OSHA REGULATIONS SHOULD BE FOLLOWED.

ANNUAL INSPECTIONS ARE BEST PRACTICE FOR ALL UNDERGROUND SYSTEMS. DURING THIS INSPECTION, IF EVIDENCE OF SALTING/DE-ICING AGENTS IS OBSERVED WITHIN THE SYSTEM, IT IS BEST PRACTICE FOR THE SYSTEM TO BE RINSED, INCLUDING ABOVE THE SPRING LINE SOON AFTER THE SPRING THAW AS PART OF THE MAINTENANCE PROGRAM FOR THE SYSTEM.

MAINTAINING AN UNDERGROUND DETENTION OR INFILTRATION SYSTEM IS EASIEST WHEN THERE IS NO FLOW ENTERING THE SYSTEM. FOR THIS REASON, IT IS A GOOD IDEA TO SCHEDULE THE CLEANOUT DURING DRY WEATHER.

THE FOREGOING INSPECTION AND MAINTENANCE EFFORTS HELP ENSURE UNDERGROUND PIPE SYSTEMS USED FOR STORMWATER STORAGE CONTINUE TO FUNCTION AS INTENDED BY IDENTIFYING RECOMMENDED REGULAR INSPECTION AND MAINTENANCE PRACTICES. INSPECTION AND MAINTENANCE RELATED TO THE STRUCTURAL INTEGRITY OF THE PIPE OR THE SOUNDNESS OF PIPE JOINT CONNECTIONS IS BEYOND THE SCOPE OF THIS GUIDE.

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If discrepancies between the supplied information upon which the drawing is based and actual field conditions are encountered as site work progresses, these discrepancies must be reported to Contech immediately for re-evaluation of the design. Contech accepts no liability for designs based on missing, incomplete or inaccurate information supplied by others.

DATE	REVISION DESCRIPTION	BY

CONTECH
ENGINEERED SOLUTIONS LLC
www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH
CMP DETENTION SYSTEMS
CONTECH
DYODS
DRAWING

DY07677 Krist Gas Station
South Detention
Iron River, MI
DETENTION SYSTEM

PROJECT No.: 4780	SEQ. No.: 7677	DATE: 5/12/2021
DESIGNED: DYO	DRAWN: DYO	
CHECKED: DYO	APPROVED: DYO	
SHEET NO.:	D4	

SPECIAL USE PERMIT REPORT

TO:	Planning Commission	DATE:	June 7, 2021
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	B-7 Retail and Service Highway Business District
PROJECT:	PSUP 21-02 Special Use Permit application - Krist Oil Filling Station (Gas Station)		
PARCEL(S):	PID 14-014-20-002-00, 14-014-20-003-00, 14-014-20-001-00, 14-014-20-004-00, 14-014-20-007-00, 14-014-20-008-00, 14-014-20-009-00.		
OWNER(S):	Michigan Reserves Inc.		
LOCATION:	Approximately 2.6 acres located at the SW corner of E. Pickard Road and S. Isabella Road in the NE 1/4 of Section 14.		
EXISTING USE:	One family residential dwellings and commercial building	ADJACENT ZONING:	B-7, B-5
FUTURE LAND USE DESIGNATION: <i>Retail Service:</i> This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.			
ACTION REQUESTED: To hold a public hearing, review, and make recommendations to the Board of Trustees on the PSUP21-02 Special Use Permit application for the new Krist Oil Filling station (Gas Station) located on the SW corner of E. Pickard Road and S. Isabella Road in the NE 1/4 of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district.			

Background Information

An automobile filling station, gas station is a special use in the B-7 district. The Township Board shall have the authority to grant special use permits, subject to such conditions of design and operation, safeguards, and time limitations as it may determine for all special uses specified in the various provisions of this Ordinance. The Planning Commission shall have authority to review special use applications, hold a public hearing, and make recommendations to the Township Board. The applicant has applied for a special use permit simultaneously with the preliminary site plan for review and approval.

Review Comments

Section 14.03J. of the Zoning Ordinance establishes the standards for special use approval.

Special use permit approval is subject to a Planning Commission public hearing and recommendation to the Board of Trustees. The Board of Trustees retains final authority to approve or deny any special use permit. The Planning Commission’s recommendation should include “*affirmative findings of fact and records adequate data, information, and evidence*” to support a conclusion that the proposed special use conforms to the standards of Section 14.03.J.

Each of the seven (7) standards from this Section are listed below in bold printed text. Staff review comments follow under each standard. Please note that, for clarity and readability purposes, staff has divided standards #2 and #7 into several subsections:

Section 14.3.J. (Standards for Special Use Approval)		Status
1	<p>The proposed land use is identified in Section 3 as a special use in the zoning district.</p> <p>The proposed Automobile Filling Station, Gas Station facility is allowed as a special use in the B-7 (Retail and Service Highway Business R2-A) zoning district (Section 3.15).</p>	Conforms
2(a)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of <u>traffic</u></p> <p>The proposed use conforms to this standard. Anticipated vehicular traffic would be limited to automobiles, trucks, and delivery vehicles. There is an existing gas station kitty-corner from this proposed site on the NE corner of E. Pickard Road and S. Isabella Road. E. Pickard Road (M-20) and S. Isabella Road are both heavily traveled regional arterial roads in the Township.</p> <p>Based on these conditions, a new filling station would not be detrimental or hazardous to the general welfare by means of traffic generation.</p>	Conforms
2(b)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of...<u>noise, vibration, ...dust, glare (or) light....</u></p> <p><u>The proposed use can conform to this standard.</u> The predominant sources of potential noise from this facility are associated with HVAC equipment, pump island noise, and vehicles entering and leaving the site. A significant potential source of noise would be amplified sound from pump station video displays or speakers. <u>Unless the applicant provides documentation on their site plan for this type of equipment and shows how it will conform to this standard, amplified exterior sound will be prohibited on this site.</u></p> <p>The HVAC equipment is required to be screened and will be located well away from adjacent residences. Ingress/egress points for the site are also set back from residences.</p> <p>No vibration, dust, glare or light impacts are anticipated from the facility. All exterior lighting for the facility will be required to be fully shielded per Section 8.2 (Exterior Lighting) standards. Potential headlight glare impacts on neighboring residences will be addressed through screening.</p>	Can Conform

Section 14.3.J. (Standards for Special Use Approval)		Status
2(c)	<p>The location, design, activities, processes, materials, equipment, and operational conditions of the special use will not be hazardous, detrimental or injurious to the environment or the public health, safety or general welfare by reason of...<u>odors, dust, drainage, pollution or other adverse impacts.</u></p> <p><u>The proposed use can conform to this standard, subject to submittal of a final site plan that fully conforms to Zoning Ordinance requirements.</u> There is more than sufficient land area to provide for adequate stormwater management on the site in a manner that does not impact neighboring properties or roads. The applicant will also be required to demonstrate compliance with State of Michigan pollution control standards through approved state permits for the project.</p> <p>There could be some odor or fumes impacts from diesel truck exhaust and gasoline, but these are not anticipated to be significantly different from the background conditions along the M-20 state highway.</p>	Can Conform
3	<p>The special use will be designed, constructed, operated, and maintained in a manner compatible with adjacent uses, the surrounding area, and the intent of the zoning district. Where determined necessary by the Planning Commission or Township Board, the applicant has provided adequately for any restrictions on hours or days of operation, minimization of noise, and screening improvements or other land use buffers to ensure land use compatibility and minimize adverse impacts.</p> <p><u>The proposed use can conform to this standard, subject to the details of proposed screening and land use buffers being finalized on a final site plan that fully conforms to Zoning Ordinance requirements.</u></p> <p>No information has been provided about proposed hours of operation. For this type of facility, unless the Planning Commission recommends otherwise, it would be expected that this facility would be open on a 24-hour per day, seven-day per week schedule. Based on the location along the M-20 corridor close to the US-127 interchange, it is the opinion of staff that no restrictions on hours or days of operation are warranted for this facility.</p> <p>Section 3.15 describes the purpose of the B-7 district as <i>“to promote the high quality commercial and office development in the vicinity of M-20 and Pickard Road. Requirements and incentives are provided to promote vehicular and pedestrian safety, control traffic congestion, and improve the visual appearance of the district through proper landscaping, buffering and screening.”</i> Provisions for robust year-round screening along the south and portions of the west lot boundaries will be necessary to ensure land use compatibility.</p> <p>The preliminary site plan as submitted does not fully meet the standards for site plan approval. <u>If constructed as designed on the 5/17/2021 site plan, the filling station would not be operated or maintained in a manner that is fully compatible with adjacent uses, the surrounding area, and the intent of the zoning district.</u></p> <p>However, we would note that there is sufficient land area within the proposed development boundaries to adjust the proposed design and site layout in a manner that would be consistent with this standard.</p>	Can Conform

Section 14.3.J. (Standards for Special Use Approval)		Status
4	<p>The special use location and character is consistent with the general principles, goals, objectives, and policies of the adopted Master Plan.</p> <p>Staff would have no objection to a Planning Commission determination that the proposed use conforms to this standard. Based on a review of the elevation drawings provided in the preliminary site plan, the exterior materials used and appearance of the building façade are consistent with the policy statements on page 31 of the Master Plan for <i>Retail Service</i> area commercial development. The proposed parking facilities are also consistent with Master Plan guidance related to setbacks and landscaped greenbelts.</p>	Conforms
5	<p>The proposed special use conforms to all applicable requirements or standards of this Ordinance or other Township ordinances.</p> <p><u>The proposed use can conform to this standard</u>, subject to submittal of a final site plan that fully conforms to Zoning Ordinance requirements.</p> <p>The proposed use, as depicted on the 5/17/2021 preliminary site plan, does not currently conform to all applicable requirements of the Zoning Ordinance and other Township Ordinances. However, it is the opinion of staff that the current design deficiencies can be resolved and corrected without the need to alter or enlarge the land area subject to special use approval.</p> <p>The proposed development will be subject to compliance with applicable site development and other requirements of the Zoning Ordinance, and to the applicable standards of other Township ordinances, including the Sidewalk and Pathway Ordinance No. 2009-02 and the Stormwater Management Ordinance No. 1992-09. These details will be resolved through the site plan approval process.</p>	Can Conform
6	<p>Approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.</p> <p>The approval of the special use location will not result in a small residential or non-residential area being substantially surrounded by incompatible uses.</p>	Conforms
7(a)	<p>The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to...<u>fire protection services (and) municipal water and sewerage systems....</u></p> <p>The proposed use conforms to this standard. In addition to providing a safe potable water supply to the proposed facility, the proposed connection into the Township's municipal water system is essential to satisfying the Michigan Building Code and state fire code requirements to support the work of the Mt. Pleasant Fire Department during an emergency response.</p> <p>Several existing commercial and residential connections into the municipal water and sanitary sewerage systems will need to be abandoned and removed as part of this project. The details of the proposed water and sewer system connections and abandonment of existing connections will be subject to Public Services Department approval as part of the site plan, demolition permit, and building permit approval processes.</p>	Conforms

Section 14.3.J. (Standards for Special Use Approval)		Status
7(b)	The impact of the special use will not exceed the existing or planned capacity of public or municipal services or infrastructure; including but not limited to roads, police...protection services, (and) refuse disposal, other utilities, drainage facilities, and public or private wells....	Conforms
	The proposed use conforms to this standard. For road impacts, please see our comments under standard 2(a) above. The applicant has provided for a secured trash dumpster enclosure area on the site, which would be serviced by a private contractor. No adverse impacts on the capacity of the Sheriff's Office to provide police protection are anticipated by the proposed development. There are no municipal wells in the immediate area, and the proposed development is not anticipated to adversely impact the capacity of any private wells in the area. Adequate electrical and natural gas services are available. Provided that the stormwater management design conforms to Township ordinance standards, no impacts to off-site drainage facilities are anticipated.	
7(c)	The proposed use will not create additional requirements at public cost for services or infrastructure that will be detrimental to the economic welfare of the community.	Conforms
	The proposed use conforms to this standard.	

Objective

Following the hearing, the Planning Commission shall review the application materials, together with any reports and recommendations, and any public comments. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to recommend to the Township Board approval, approval with conditions, or denial of the special use permit application, or to postpone further consideration of the application to a date certain in accordance with the provisions of Section 14.3.F.4.

Key Findings

The proposed Automobile Filling Station, Gas Station facility is allowed as a special use in the B-7 (Retail and Service Highway Business R2-A) zoning district. The location for the proposed filling station special use is consistent with the Zoning Ordinance and Master Plan. However, the PSPR21-15 preliminary site plan for the project is not consistent with the Township Zoning Ordinance standards for approval as presented.

Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to recommend approval of the PSUP 21-02 Special Use Permit application for the Krist Oil Filling Station (Gas Station) to the Board of Trustees, subject to the following conditions:

1. A revised preliminary site plan is approved by the Planning Commission.
2. A final site plan is approved by the Planning Commission.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

Draft Motions: PSUP 20-02 Krist Oil Filling Station Special Use Permit Application

MOTION TO RECOMMEND APPROVAL:

Motion by _____, supported by _____, to recommend to the Township Board of Trustees to approve the PSUP 21-02 special use permit application for the new Krist Oil Filling Station on approximately 2.6 acres of land on the southwest corner of E. Pickard Road and S. Isabella Road in the northeast quarter of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district, finding that it fully complies with Section 14.3.J. (Standards for Special Use Approval).

MOTION TO RECOMMEND APPROVAL WITH CONDITIONS:

Motion by _____, supported by _____, to recommend to the Township Board of Trustees to approve the PSUP 21-02 special use permit application for the new Krist Oil Filling Station on approximately 2.6 acres of land on the southwest corner of E. Pickard Road and S. Isabella Road in the northeast quarter of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district, finding that it can comply with Section 14.3.J. (Standards for Special Use Approval), subject to the following conditions:

1. A revised preliminary site plan is approved by the Planning Commission.
2. A final site plan is approved by the Planning Commission.

MOTION TO RECOMMEND DENIAL:

Motion by _____, supported by _____, to recommend to the Township Board of Trustees to deny the PSUP 21-02 special use permit application for the new Krist Oil Filling Station on approximately 2.6 acres of land on the southwest corner of E. Pickard Road and S. Isabella Road in the northeast quarter of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district, finding that it does not comply with Section 14.3.J. (Standards for Special Use Approval), for the following reasons:

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSUP 21-02 special use permit application for the new Krist Oil Filling Station on the southwest corner of E. Pickard Road and S. Isabella Road until _____, 2021 for the following reasons:

Charter Township of Union


APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan Preliminary Site Plan Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	KRIST FOOD MART		
Common Description of Property & Address (if issued)	SOUTHEAST CORNER OF E. PICKARD ROAD AND S. ISABELLA ROAD. 4972 E. PICKARD ROAD MOUNT PLEASANT, MI 48858		
Applicant's Name(s)	KSK, INC.		
Phone/Fax numbers	906.367.2576	Email	kristc@kristoil.com
Address	316 IRIS STREET	City:	IRON RIVER, MI Zip: 49935

Legal Description:	<input checked="" type="checkbox"/> Attached	Included on Site Plan	Tax Parcel ID Number(s):	SEE ATTACHED	
Existing Zoning:	B-7	Land Acreage:	3.28	Existing Use(s):	VACANT/RESIDENTIAL
<input type="checkbox"/> ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)					

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name:	CRAIG RICHARDSON	Phone:	906.284.3903	Email:	ardson@geiconsultants
	2. Address:	990 LALLEY ROAD				
	City:	IRON RIVER	State:	MI	Zip:	49935
	Contact Person:	CRAIG RICHARDSON		Phone	906.284.3903	
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name:	MICHIGAN RESERVES INC.		Phone:	989.330.2473	
	Address:	PO BOX 329				
	City:	MT. PLEASANT	State:	MI	Zip:	48804
	Signature:			Interest in Property:	VICE-PRESIDENT	
	2. Name:	JAMES ENGLER		Phone:	989 330 2473	
	Address:	2303 AMBER LN.				
	City:	MT. PLEASANT	State:	MI	Zip:	48858
	Signature:			Interest in Property:		

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

 _____ Date 5/20/21

Signature of Applicant

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

Revised: 9/14/2020

Planning Commission– Detailed Use Statement
Krist Oil Company, Inc.
Proposed Krist Food Mart
4972 E. Pickard Road, Union Township, Michigan

Krist Oil Company independently owns and operates 73 Convenience Stores across Michigan, Wisconsin, and Minnesota. Krist Oil Company, Inc. (Krist Oil) is intent on purchasing six (6) parcels of property at the corner of E. Pickard Road and S. Isabella Road for development of a Krist Food Mart. All six parcels are owned by Michigan Reserves Inc., totaling approximately 3.28 acres. Three parcels are located along E. Pickard Road and three parcels are located along S. Isabella Road. The three parcels along E. Pickard Road are residential properties, while the three parcels along S. Isabella Road are commercial. N&B Floor Coverings were the tenants of the commercial properties but have since vacated the lots. The existing buildings and site features on the Michigan Reserves Inc. properties are to be demolished for the proposed Krist Food Mart development per the attached Site Plan.

The Krist Food Mart will consist of two (2) canopies, one (1) for gasoline and the other for diesel fuel. Ten (10) pumps will be under the gasoline canopy and four (4) pumps will be under the diesel canopy. The Food Mart will be 60' x 92' (5,520 SFT) and located in the middle of the parcel. All utilities will be tied in at the street location with exact locations yet to be determined. The storm water system is proposed to be an underground retention system that will discharge to the existing storm sewer(s) at controlled rates per Isabella County ordinance and Michigan Department of Transportation (MDOT) rules and regulations. There will be a drive entrance on both E. Pickard Road and S. Isabella Road in accordance with the Access Management Plan. A clear vision area will be provided at the corner of Pickard and Isabella.

The filling station will have 37 parking spots available based off the retail square footage (4620 SFT) and maximum employee count per shift (3 staff). Loading and unloading will take place on the east side of the building in the parking lot. A 10' x 10' dumpster enclosure will be located against the southside of the building per the site plan. Landscaping will be planted on all sides of the property as indicated on the preliminary site plan. The makeup of the landscaping will be per the Union Township zoning ordinance. All landscaping will go up to the property line or right of way. Mechanical equipment will be located inside the building. An exception to this will be the air conditioning unit, which will be located on the roof of the building. A parapet wall will be constructed on the north, east, and west sides of the building, hence blocking the view of the air conditioning unit to the public.

Krist Oil has no intention of selling or leasing any portion of the land or building space. Additionally, except for the six parcels mentioned in this Detailed Use Statement, Krist Oil does not have any further interest in owning or acquiring any adjacent land parcels.



Consulting
Engineers and
Scientists

May 21, 2021

Project 1509480

Mr. Rodney Nanney, Community and Economic Development Director
Charter Township of Union
2010 South Lincoln Road
Mount Pleasant, MI 48858

RE: Krist Oil Company – Proposed Development at 4972 E. Pickard Road

Dear Mr. Nanney:

On behalf of Krist Oil Company, Inc. (Krist Oil), GEI Consultants of Michigan, P.C. (GEI) is hereby submitting the following documents for consideration by the Charter Township of Union for the proposed development at 4972 E. Pickard Road.

- Preliminary Site Plan Review and Special Use Permit Application with Attachments
 - Detailed Use Statement
 - Standards for Special Use Approval
 - Application Attachment Information

- Preliminary Site Plan Review Drawings
 - Full Size – 1 copy
 - 11 x 17 – 11 copies
 - Digital – 1 copy

We look forward to discussing the proposed development with Charter Township of Union. Please do not hesitate to contact me at (906) 214-4151 or crichardson@geiconsultants.com if you have any questions or require additional information.

Sincerely,

GEI CONSULTANTS OF MICHIGAN, P.C.

Craig A. Richardson, P.E.
Senior Project Manager

John Reck
Project Engineer

cc: Krist Atanasoff, Krist Oil Company
File 1509480

CAR/JRR:plw

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Tera Green

From: Rodney Nanney
Sent: Friday, May 28, 2021 10:33 AM
To: Peter Gallinat
Subject: RE: Soil Erosion and Sedimentation Control Permit

Peter,

Please add Ray's email to the PZE file for this project. It will be sufficient to satisfy the standard for final site plan approval that all outside agency permits or approvals are either in place or "are assured" of approval.

I've made a note to include the lot combination and permit submittal as conditions in the report I am working on for this project.

Regards,

Rodney C. Nanney, AICP
Community and Economic Development Director
Charter Township of Union
2010 South Lincoln Road
Mount Pleasant, MI 48858
(989) 772-4600 ext. 232

From: Ray Johnson <rjohnson@isabellacounty.org>
Sent: Friday, May 28, 2021 10:03 AM
To: Peter Gallinat <pgallinat@uniontownshipmi.com>
Cc: Rodney Nanney <RNanney@uniontownshipmi.com>; 'Scott Jozwiak' <scott@jozwiakconsulting.com>
Subject: Soil Erosion and Sedimentation Control Permit

Peter,

Midwest V LLC has submitted a soil erosion and sedimentation control permit (SESC) application for a retail building which spans two parcels in Union Township (14-146-00-003-00 and 14-146-00-005-00).

It is my understanding that Midwest V LLC has submitted an application to Union Township for this retail building. It is also my understanding that IF Union Township approves the request, Midwest V LLC will be purchasing both parcels and applying for these two parcels be combined into a single tax parcel.

Prior to issuing a soil erosion and sedimentation control permit, I am required to receive a copy of the recorded deeds to both newly purchased parcels by Midwest V LLC and a copy of the parcel combination approval from Union Township with the newly assigned TaxID and legal description. **Provided I receive these required documents, I see no deficiencies at this time which would prohibit me from issuing the SESC permit.**

If at such time the site plan changes in any way, an amended soil erosion and sedimentation control permit application may be required.

Ray Johnson

**Planner/Zoning Administrator
Community Development
Isabella County
200 N. Main
Mt. Pleasant MI 48858
989-317-4067**

PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	June 8, 2021
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	B-7 Retail and Service Highway Business District
PROJECT:	PSPR21-15 Preliminary Site Plan Approval application - Krist Oil Filling Station (Gas Station)		
PARCEL(S):	PID 14-014-20-002-00, 14-014-20-003-00, 14-014-20-001-00, 14-014-20-004-00, 14-014-20-007-00, 14-014-20-008-00, 14-014-20-009-00.		
OWNER(S):	Michigan Reserves Inc.		
LOCATION:	Approximately 2.6 acres located at the SW corner of E. Pickard Road and S. Isabella Road in the NE 1/4 of Section 14.		
EXISTING USE:	One family residential dwellings and commercial building	ADJACENT ZONING:	B-7, B-5
FUTURE LAND USE DESIGNATION:	<i>Retail Service:</i> This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well-managed access.		
ACTION REQUESTED:	To review and take action to approve, deny, or approve with conditions the PSPR21-14 preliminary site plan dated May 17, 2021 for Krist Filling station (Gas Station) located on the SW corner of E. Pickard Road and S. Isabella Road in the NE 1/4 of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district.		

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.” Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** The following items of required information are missing or in need of minor correction, but the site plan is sufficiently complete for Planning Commission review and action. The following details will need to be addressed by the applicant as part of the final site plan submittal:

Missing Preliminary Site Plan Information	
Add the front, side, and rear yard setback dimensions to the site plan, as measured to each setback line depicted on the site plan line. The notes on DWG. NO 02-C-02 Sheet 3 are insufficient to meet this requirement.	<input type="checkbox"/>
Add the width measurement of the proposed sidewalk, which must be at least five (5) feet.	<input type="checkbox"/>
Add location(s), area(s), purpose(s) and dimensions of any outdoor sales, display or storage areas, or add a note to the site plan to confirm that none are proposed for this project.	<input type="checkbox"/>
Correct the period-for-comma typo on the "lot coverage" number (indicated on the site plan sheet 3 notes as "83.625 SFT").	<input type="checkbox"/>

2. **Section 8 (Environmental Performance Standards).** The following details will need to be addressed by the applicant as part of the final site plan submittal:

- Application is missing the hazardous substance reporting form and EGLE permit checklist form included in the application materials. These completed forms will be required as part of the final site plan submittal.

3. **Section 9 (Off-Street Parking).** Parking calculations have been provided on the site plan and are consistent with Section 9 standards for the proposed uses. The dimensions of the 90-degree parking spots comply with the size requirements of Section 9, but the additional parking space dimensions are missing. The following details will need to be addressed by the applicant as part of the final site plan submittal:

- Add the dimensions of proposed parallel parking, or remove these spaces if they are no longer needed to satisfy the Section 9 minimum parking space requirements.
- Add the building floor plans with dimensions and use areas depicted to confirm the usable floor area calculation.
- Add dotted line rectangles with dimensions to show the locations of pump island parking and waiting spaces. These spaces count towards satisfying the minimum number of required parking spaces for the proposed uses.
- Add the required bicycle parking facilities per Section 9.1.C.5. (Bicycle Parking), with dimensions and a detail.
- Depict the planned snow storage area(s) on the revised site plan.

4. **Section 7.10 (Sidewalks and Pathways).** The applicant has proposed to provide a new

internal sidewalk connection into the site to the public building entrance. The following sidewalk details will need to be addressed by the applicant on the final site plan submittal:

- Confirm that the proposed internal sidewalk from S. Isabella Rd. is at least five (5) feet in width by adding a dimension to the site plan.
- Confirm that all internal sidewalks abutting parking spaces are at least seven (7) feet in unobstructed width to allow for vehicle overlap by adding a dimension to the plan. If outside displays or sales areas are proposed adjacent to the building, they must be located outside of this unobstructed width.
- Add barrier-free sidewalk ramps at all required locations and provide a detail.
- Extend the internal sidewalk 20 feet further to the east from the northeast corner of the building and at least eight (8) further west feet from the public sidewalk along S. Isabella Rd. to narrow the pedestrian crossing.
- Add a striped pedestrian crosswalk to the pavement striping plan.
- Confirm with a note on the site plan that the internal sidewalk access will be maintained year-round, including winter snowplowing (the East DDA District provides winter maintenance of the public sidewalks along E. Pickard Rd. and S. Isabella Rd. in this area).

5. **Section 6.18 (Filing Stations for the Sale of Gasoline, Oil, Propane, and Vehicle Accessories)** The applicant has demonstrated compliance with the standards of this Section for access, minimum lot size, and setbacks for buildings, but not for the driveway and parking setbacks. Driveways and parking setback must be a minimum of 50 feet from adjacent property lines and a minimum of 200 feet from any existing residential dwelling located on adjacent property. Verification of compliance is missing with respect to dwellings to the south and west. Off-street parking on the south side of the building appears to be roughly 132 feet away from the one-story frame house located at 2094 S. Isabella Road. The following details will need to be addressed by the applicant as part of the final site plan submittal:

- Adjust the driveway and scope of the pavement and off-street parking locations as needed to conform to Section 6.18 standards.

6. **Building Form and Composition.** The subject land is located within the East Downtown Development Authority (DDA) District. Through the Economic Development Authority Board, which oversees the DDA District, the Township has invested over \$9 Million in public improvements, infrastructure upgrades, and corridor beautification since 1993. The East DDA manages the public sidewalks, park benches, and trash receptacles (including regular maintenance, seasonal clean-up, and sidewalk snowplowing); the decorative streetlights; and a system of underground irrigation within the E. Pickard Rd. right-of-way. The East DDA also funds annual flower and banner displays, lawncare along the road margins, and holiday lighting. All of this is done for the purpose of fostering a more consistent, dynamic, and upmarket visual character for the District, which in turn helps to support a vibrant and resilient business community along the M-20 corridor.

Business and property owners along the corridor have responded to these improvements over the years by undertaking numerous private improvements, large and small, to older sites along the corridor. It is essential for new development in the East DDA District to be consistent in supporting the economic health of the District through building form and composition that is consistent with the District's emphasis on a dynamic and upmarket visual character. The proposed building is generally consistent with this character and with the policy statements on page 31 of the Master Plan for *Retail Service* area commercial development. The following building-related details will need to be addressed by the applicant on a revised site plan:

- Revise the building design to show the location and height of all rooftop HVAC equipment and provide parapet walls on all four sides of the building with sufficient height to fully screen this equipment.

7. **Section 9.5 (Loading Space Requirements).** The applicant has provided one (1) loading space on the plan in the front yard east of the building as required, but the dimensions of this loading area are missing. The following changes need to be addressed by the applicant as part of the final site plan submittal:

- Adjust the loading space to a minimum of 50.0 feet in length and 10.0 feet in width.
- Relocate the loading space to the rear (west side) of the building so that it is screened from the view of adjoining roads.
- The location of the loading area cannot block vehicular access to required parking spaces unless a note is added to the site plan to confirm that all deliveries will take place when the facility is not open to the public.

8. **Section 7.14 (Trash Removal and Collection).** The applicant has provided on the plan an 8.5-foot-high decorative masonry dumpster enclosure, which is located in the south side yard area. The gate will be a steel frame painted tricorn black (see sheet 10). The following details will need to be addressed by the applicant on the final site plan:

- Relocate the dumpster enclosure to the rear yard (west side of the building).
- Adjust the dumpster enclosure to be set back at least 10.0 feet from the building.

Additional Comments for Preparation of the Final Site Plan

9. **Section 10 (Landscaping and Screening)** Although a landscaping plan is not required for a preliminary site plan the applicant has provided information for proposed landscaping on the preliminary plan. The applicant has requested a waiver of certain planting requirements, but has not established that conditions exist that would satisfy the requirements of Section 10.7 (Modifications...). Staff recommends that the requested waiver be rejected by the Planning Commission (see additional comments below). The following landscaping and screening comments are intended to help guide the development of a final landscape plan:

- ❑ More robust screening of a year-round character is needed along the south and portions of the west lot boundaries to minimize headlight glare and other impacts from the filling station activity on nearby residences. It is expected that additional landscaped buffer width will be needed to accommodate the necessary screening.
 - ❑ Add an overlapping evergreen screen to the greenbelt plantings around the south and portions of the west sides of the site per Section 10.2.E. standards to provide adequate screening for adjacent residences.
 - ❑ Provide at least the minimum number of greenbelt buffer tree and shrub plantings per Section 10 standards, and delete the waiver request from sheet 02-L-01. The required shrub plantings for the site can be grouped into a denser hedgerow arrangement along the E. Pickard Rd. frontage to provide additional screening of headlight glare from vehicles at the north pump island.
 - ❑ Add the required landscaped parking lot islands at all four corners of the building, at each end of the row of parallel parking spaces, and around the extensions of the internal sidewalk from S. Isabella Rd. into the parking lot.
 - ❑ Planting locations must be coordinated with anticipated snow storage areas.
10. **Outside agency approvals.** The applicant shall be responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. These approvals include the Mt. Pleasant Fire Department, Isabella County Road Commission, and Storm Water approval from the Isabella County Drain office Isabella County Transportation Commission, and the Township Public Services Department.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

1. The site plan is missing several items of required preliminary site plan information and is not sufficiently complete for Planning Commission review. The plan should be viewed as more conceptual for the purpose of the special use application.
2. If updated consistent with the details noted in this report, the preliminary site plan can fully conform to Section 14.2.P. (Required Site Plan Information).
3. The project is consistent with the Master Plan, and the proposed building design and mix of exterior façade materials is generally consistent with the dynamic visual character of the East DDA District.

Recommendations

Based on the above findings, I would recommend that the Planning Commission postpone action on the PSPR21-15 preliminary site plan, with direction to the applicant to remove the requested landscape waiver, add the additional required screening improvements, and prepare an updated preliminary site plan consistent with the applicable Zoning Ordinance requirements for further review and action by the Planning Commission.

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

Draft Motions: PSPR 21-15 Krist Oil Filling Station Preliminary Site Plan Review Application

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 21-15 preliminary site plan for the new Krist Oil Filling Station on approximately 2.6 acres of land on the southwest corner of E. Pickard Road and S. Isabella Road in the northeast quarter of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the May 17, 2021 site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Preliminary site plan approval is contingent upon Board of Trustees final approval of the PSUP2 21-01 special use permit for this project.
 2. Provide all items of required information on the final site plan per Section 14.2.P.
 3. Provide the completed hazardous substance reporting form and EGLE permit checklist.
 4. Revise the arrangement and number of off-street parking spaces, reduce the extent of pavement, and add the required bicycle parking facilities as necessary for compliance with Township ordinance requirements.
 5. Revise the loading area, driveway location, trash enclosure, and sidewalk details on the final site plan as necessary for compliance with Township ordinance requirements.
 6. Add parapet walls on all four sides of the building with sufficient height to fully screen all rooftop HVAC equipment.
 7. Add an overlapping evergreen screen to the greenbelt plantings around the south and portions of the west sides of the site per Section 10.2.E. standards to provide adequate screening for adjacent residences.
 8. Provide at least the minimum number of greenbelt buffer tree and shrub plantings per Section 10 standards, and delete the waiver request from sheet 02-L-01.
 9. Add the required landscaped parking lot islands at all four corners of the building, at each end of the row of parallel parking spaces, and around the extensions of the internal sidewalk from S. Isabella Rd. into the parking lot.
-
-

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 21-15 preliminary site plan for the new Krist Oil Filling Station on approximately 2.6 acres of land on the southwest corner of E. Pickard Road and S. Isabella Road until August 17, 2021 for the following reasons:

1. The site plan is missing several items of required preliminary site plan information.
 2. The site plan is not sufficiently complete for Planning Commission action.
-
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Draft Motions: PSPR 21-15 Krist Oil Filling Station Preliminary Site Plan Review Application

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 21-15 preliminary site plan for the new Krist Oil Filling Station on approximately 2.6 acres of land on the southwest corner of E. Pickard Road and S. Isabella Road in the northeast quarter of Section 14 and in the B-7 (Retail and Service Highway Business) zoning district, finding that the May 17, 2021 site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan
 Preliminary Site Plan
 Final Site Plan

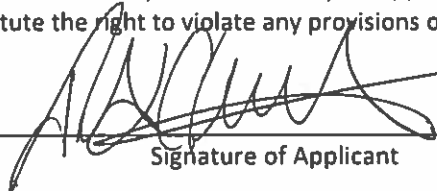
A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project _____		Dollar General, Union Township	
Common Description of Property & Address (if issued) _____		5048 E. Pickard Road	
Lot 25, lot 4, lot 5, part of lot 3, part of lot 16, Wards View Subdivision			
Applicant's Name(s) _____		Midwest V, LLC	
Phone/Fax numbers _____	616-842-2030	Email _____	pete@westwind.build
Address _____	1435 Fulton St. Second Floor	City: _____	Grand Haven Zip: 49417

Legal Description: <input checked="" type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	37-14-146-00-003-00
Existing Zoning: B-7	Land Acreage: 1.2	Existing Use(s):	Res (vacated) and vacant
ATTACHED: Letter describing the project and how it conforms to Section 14.2.S. (Standards for Site Plan Approval)			

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name: _____ Jozwiak Consulting _____ Phone: 231-218-1201 Email: scott@jozwiakconsulting.com 2. Address: _____ 13300 S W Bayshore Dr. _____ City: _____ Traverse City _____ State: _____ Zip: 49684 Contact Person: _____ Scott Jozwiak _____ Phone: 231-218-1201
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name: _____ See attached. _____ Phone: _____ Address: _____ City: _____ State: _____ Zip: _____ Signature: _____ Interest in Property: _____ 2. Name: _____ Phone: _____ Address: _____ City: _____ State: _____ Zip: _____ Signature: _____ Interest in Property: _____

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.



 Signature of Applicant

5/21/21

 Date

Office Use Only

Application Received By: _____ Fee Paid: \$ _____

Date Received: _____ Escrow Deposit Paid: \$ _____

May 19, 2021

Planning Commission
Charter Township of Union
2010 S. Lincoln
Mt. Pleasant, MI 48858

RE: Request for Site Plan Review
5048/5082 E Pickard Rd
Parcel ID's 14-146-00-003-00 / 14-146-00-005-00
Current Zoning: B-7

Dear Commissioners:

The current owners of the above parcel are seeking to secure site plan approval for a new retail business to be located on the above stated parcels. The proposal includes construction of a new retail store on parcels that currently vacant with the exception of a small vacated house. The property is located between Burger King and the Pickard Party Store. We are proposing a single new commercial curb cut and the existing two residential curb cuts will be removed. The parking lot capacity is 35 spaces along with one load space. Ample maneuvering aisle widths are provided to allow for patrons to easily move around on the property. There is a dumpster located at the rear of the building and it will be screened per the detail provided. Minimal grading is proposed for construction and is mainly an effort to get stormwater runoff to move toward the catch basin inlets. Stormwater outlets into an infiltration basin with capacity exceeding the volume of runoff anticipated from a 100 year storm event. The landscape plan is intended to follow the requirements of the ordinance.

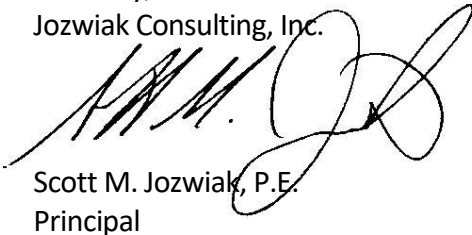
The store is a single story, 10,640 building. We have provided preliminary plans for your review. The building is 20' tall along the front facade which includes a parapet wall to hide the roof mounted mechanical equipment from the front. The building roof slopes from north to south with the south facing eave being 14' tall. The materials for the store include brick, split face block and metal wall panel. Canopies are located along the front and the east elevation.

We are proposing to deed 1/3 acre of the parcel to either the township or DDA to provide a corridor for a future interconnection between commercial properties within this block. Access management and interconnectivity can be difficult to achieve. We propose to deed the land and at the time of redevelopment of other commercial, the underlying entity (i.e. Township or DDA) could then construct the corridor commencing at Burger King and ending at Florence. This proposal is stemmed from an interconnectivity meeting that included Township, MDOT, this developer and the owner of the Burger King. Burger King is not interested in changing their parking at this time but if/when they do, they indicated preference for a connection near the southernmost portion of their property. In light of this, we were able to keep our development needs towards the front of the parcel which leaves this corridor available for this purpose.

The developer intends to retain ownership and lease to the retailer. The business will require 4 employees per day (2 shifts of 2). The retail store will sell general merchandise including health, personal care, beauty, food, household, pet, baby, apparel, toys, etc.

We are submitting for Preliminary and Final approval. We are hopeful that we can obtain both approvals at that meeting. It is our intent to fully comply with the Zoning Ordinance. We have made application for permits with both Isabella County for SESC permit and MDOT for the right of way permit. We anticipate having these approvals prior to the meeting on June 15th. We look forward to presenting this project at the June 15th planning commission meeting.

Sincerely,
Jozwiak Consulting, Inc.

A handwritten signature in black ink, appearing to read "S.M. Jozwiak", written over a horizontal line.

Scott M. Jozwiak, P.E.
Principal

Standard for Site Plan Approval (Owner Provided)

1. **The applicant is legally authorized to apply for site plan approval, and all required information has been provided.**
 - a. A copy of letters of authorization are provided with the application.
2. **The proposed development conforms to the applicable standards and conditions imposed by this Ordinance and other applicable Township ordinances.**
 - a. The proposed project meets the requirements of the township ordinance as well as other agency requirements.
 - b. Permits applications were submitted to MDOT and Isabella County Community Development for Soil Erosion Control permit.
 - c. We will work with Township DPW for sewer and water connections
 - d. It is our intent to comply with permit requirements.
3. **The final site plan is consistent with the policies of the Master Plan and other adopted Township planning documents, and with the approved preliminary site plan.**
 - a. The Master Plan identifies the parcels that we are developing as being commercial. The proposed retail business is commercial and thereby follows the intent of the Master Plan policy from a use perspective.
 - b. Natural Resources: The property has little topography and no significant natural features. The rear of the parcel does have larger trees. It is our intent to leave these areas alone as we are proposing to deed this area to the municipality (either township or DDA) for the use of an interconnection to adjacent parcels.
 - c. Growth Management Boundary: The project is located within an established commercial corridor and does not seek to expand the growth management boundary.
 - d. Low Impact Design: The proposed project seeks to create an area behind the proposed building for use as a stormwater infiltration basin. Soils exist on this site that provide high infiltration rates which in turn provides for groundwater recharge. The basin will be grass which provides nutrient uptake as well as keeps the soils “broken up” to allow for continued operation with minimal degradation. Catch basin structures provide sediment traps and can be easily maintained.
 - e. Complete Streets: The project is located within the DDA. This area has user friendly sidewalks and caters to many different transportation means besides just vehicles. The proposed project includes sidewalk connection to the walk along Pickard and includes bicycle parking in accordance with the ordinance. This sidewalk network provides uninterrupted connectivity with the business.
 - f. Access Management: The project team along with Township and MDOT officials held a meeting with Burger King to discuss the possibility of connectivity. Burger King is not in a position to enact a change to their site at this time but prefers to make a connection (if required during a future redevelopment of their site) at the southern end of their property. In light of this and after considering our site plan layout and needs, it was determined that a beneficial solution would be to offer the southern end of our property to the municipality (either township or DDA) as a means for interconnecting all of the parcels. This provides many benefits to implementing a more complete access strategy for businesses within that block. There would be no cost for the real estate but

development of this corridor could be completed by the new underlying entity at the time it is warranted. This effort is completely in line with the Access Management direction as we are providing additional means of access to this commercial district. We are also providing surplus land to accommodate stormwater management for the new corridor.

- g. Retail/Service Design: The building is proposed to have split face CMU along the bottom, Bella Brick along the center of the front facade and dark bronze metal wall panels above. The balance of the building will be prefinished sandstone beige wall panels. This break in materials will aid in reducing the building mass. A windowed entrance area is provided and the colors are subtle providing a sense of place. A nine foot wide sidewalk along the front of the store provides a comfortable walking environment. The entrance is connected to the walkway along Pickard. Landscaping is provided in accordance with the ordinance. The loading zone is located to the rear of the building. A set of service doors are all that is needed. Roof top equipment will be hidden from Pickard but will not be screened from the side or rear.
4. **The proposed development will be harmonious with and not harmful, injurious, or objectionable to the environment or land uses in surrounding area.**
 - a. The proposed retail store is a use routinely found in a commercial district. The use, other than producing customer traffic, does not cause undue harm. Retail sales are supported by neighborhood districts so providing this amenity in the commercial district and close the residentially zoned areas is very affective at fulfilling needs for the immediate area while also providing this within walking distance.
 5. **The proposed development respects natural topography, floodways, and floodplains; and minimizes the amount and extent of cutting and filling.**
 - a. The site has very little topography and the area of our disturbance requires very little tree clearing. It is not in a floodway and does not require extensive cutting and filling.
 6. **Organic, wet, or other soils that are not suitable for development will be undisturbed or modified in such fashion as to make development feasible.**
 - a. Not applicable to this site.
 7. **The movement of the vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.**
 - a. Pedestrian: The project includes a wide (9 foot) sidewalk along the front of the store and a 5' sidewalk along the side. There is a sidewalk interconnection to the walkway along Pickard that doesn't require crossing through the parking lot.
 - b. Bicycle: Two bicycle spaces are provided along the sidewalk network to the store.
 - c. Vehicular: Ample maneuvering lanes provide vehicles with plenty of maneuverability. These same maneuvering lanes are used by delivery vehicles. To not require significantly more impervious surface than what is shown, truck deliveries are restricted to off hours in order to negate any truck/car interference and to allow the truck the use of the entire parking lot for its maneuvering needs. We do meet the loading space section of the ordinance since we have ample width in our maneuvering lane to allow the truck to park along the sidewalk on the east side of the building and still have the required 26' maneuvering lane for vehicle parking.
 8. **The proposed development is adequately coordinated with improvements serving the area, and with**

other existing or planned development in the vicinity.

- a. This standard is subjective and we feel that we meet it.
9. **Satisfactory and harmonious relationships will exist between the proposed development and the existing and planned development of contiguous lands and the surrounding area, including provisions for proper extensions of public roads and sidewalks through the development in accordance with the Township ordinances.**
 - a. Our effort to provide the property necessary to construct an access corridor along the south side of the business district in this block will be the beginning of a great relationship as other properties redevelop. This access will encourage and allow for better redevelopment options for those parcels abutting it and the challenges that they would have faced when they redevelop are circumvented by the future development of this interconnection.
10. **Development phases are in logical sequence so that any phase will not depend upon a subsequent phase for access, utilities, drainage or erosion control.**
 - a. The project is intended to develop in a single phase. One exception is that the township or DDA may not construct a service drive until warranted by the redevelopment of other parcels that abut it.
11. **The plan, including all engineering drawings, meets Township standards for fire and police protection, water supply, sewage disposal or treatment, storm drainage, and other public facilities and services.**
 - a. Emergency Services: The layout provides ample maneuverability for fire and police since the parking lot maneuvering lanes are wide.
 - b. Water/Sewer: The retail store is a very low water user. Domestic water use is around 300 gallons per day which is roughly equivalent to a single family home. Irrigation needs will increase that figure. To our knowledge, this project will not impose any significant increases to the demands of water or sewer.
 - c. Stormwater: The proposed project is capable of managing a storm in excess of a 100 year frequency event which surpasses normal design standards for on-site stormwater management.
 - d. Other public facilities: Unknown what these may be but continue to state that this is a low impact use relative to public services and utilities in general.
12. **The drainage plan conforms to applicable drainage and stormwater management standards, and any proposed improvements are adequate to handle anticipated stormwater runoff and accommodate upstream drainage without causing undue runoff on to neighboring property or overloading of area watercourses.**
 - a. The parcel is very flat and we are creating a large basin to insure that larger storm events are adequately managed. However, in the event of a very significant event, contouring proves that water will move towards Florence along the route of the deeded property.
13. **Proposed screening, buffering, and landscaping improvements are adequate for the location and intended purpose and conform to the standards of this Ordinance.**
 - a. The intent is to meet the requirements of the landscaping section of the ordinance and will work with township staff to comply.

- 14. Exterior lighting conforms to Ordinance requirements and standards, and will not adversely affect adjacent or neighboring properties or traffic on adjacent roads.**
 - a. The intent is to meet the requirements of the lighting ordinance. A photometric plan is provided for review.
- 15. The parking layout and vehicular circulation patterns and access points to the site are adequate to serve the proposed uses and will not adversely affect the flow of traffic on adjacent roads or create pedestrian-vehicle conflicts.**
 - a. As mentioned prior, we worked with MDOT and township staff to work towards access management with input from the owner of the Burger King parcel. During that discussion, MDOT agreed with that an entrance at the location proposed would be the best and we have subsequently applied for that permit.
 - b. We will continue to work with township staff and MDOT on improving the pedestrian interaction across our vehicle entrance.
- 16. Grading or filling will not destroy or adversely affect the character of the property, adjacent properties or the surrounding area.**
 - a. Minimal grading is proposed and is primarily necessitated to move stormwater runoff to the catch basin locations.
- 17. Erosion will be controlled during and after construction and will not adversely affect adjacent or neighboring property or public facilities or services.**
 - a. A complete SESC plan is provided
- 18. The plan meets applicable standards of governmental agencies with jurisdiction, and necessary outside agency approvals have been obtained or are assured.**
 - a. The development group has extensive history with similar projects and is well aware of other permits and documentation that will be necessary. These include but are not limited to:
 - Demolition of house: Follow local, state and federal guidelines for analysis of the existing structure and procure all necessary permits prior to demolition. This would also include utility disconnects. Demolition will follow all conditions identified in those documents and permits.
 - Following receipt of MDOT, SESC, and permits issued by the township, the developer will secure a building permit.
 - The proposed project does not require any EGLE review.

AUTHORIZATION LETTER

Owner: Marguerite Roy

Property: 5048 E. Pickard Road, Mount Pleasant, MI 48858

Date: 5/21/21

To Whom It May Concern:

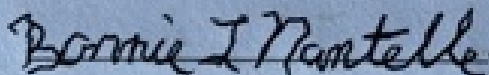
Midwest V, LLC ("Buyer"), 1435 Fulton St., 2nd Floor, Grand Haven, MI 49417, is hereby authorized to act on our behalf in connection with the items listed below as it pertains to the development of our above-referenced Property pursuant to a Purchase and Sale Agreement.

Due diligence – soil testing, geo-technical drilling, surveying, engineering and environmental studies (Phase I, Phase II and/or BEA).

Permitting – Applications and filings with applicable municipalities for all entitlements, including, but not limited to, site plan approval, rezoning, variances, building permits, and any required construction permits.

Unless otherwise agreed in the Purchase and Sale Agreement, any and all of the foregoing work shall be completed by Buyer at its sole cost and expense. Buyer will return the property to substantially the same condition prior to their work.

Sincerely,

 Owner or Authorized Representative

_____, Owner or Authorized Representative

Buyer Contact Information:

Attn: Peter Oleszczuk

1435 Fulton St., 2nd Floor

Grand Haven, MI 49417

Phone: 616-842-2030 ext. 2106

Fax: 616-842-1950

AUTHORIZATION LETTER

Owner: UNITED COMMERCIAL UII LLC
Property: 5082 E. Pickard Road, Mount Pleasant, MI 48858
Date: 5.25.21

To Whom It May Concern:

Midwest V, LLC (“Buyer”), 1435 Fulton St., 2nd Floor, Grand Haven, MI 49417, is hereby authorized to act on our behalf in connection with the items listed below as it pertains to the development of our above-referenced Property pursuant to a Purchase and Sale Agreement.

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Sincerely,

Richard J. McHunk, Owner or Authorized Representative

_____, Owner or Authorized Representative

Buyer Contact Information:
Attn: Peter Oleszczuk
1435 Fulton St., 2nd Floor
Grand Haven, MI 49417
Phone: 616-842-2030 ext. 2106
Fax: 616-842-1950

PROPOSED RETAIL BUILDING

UNION TOWNSHIP, ISABELLA COUNTY,
MICHIGAN

GENERAL SITE NOTES
ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT APPLICABLE LOCAL, COUNTY, STATE OR FEDERAL SPECIFICATIONS AND DETAILS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

ANY CHANGES IN PLANS OR SPECIFICATIONS MUST BE REVIEWED BY THE PROJECT ENGINEER, ARCHITECT AND/OR THE OWNER.

THE LOCATIONS OF UNDERGROUND UTILITIES AND STRUCTURES, AS SHOWN ON THE DRAWINGS, ARE APPROXIMATE AND MAY NOT BE COMPLETE. LOCATIONS ARE BASED ON PREVIOUS CONSTRUCTION PLANS, DATED AS-BUILTS AND UTILITY FLAGGING AS DISCOVERED IN THE FIELD. NO GUARANTEE IS MADE THAT ALL UTILITIES AND STRUCTURES ARE SHOWN.

REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

SOIL EROSION CONTROL
SOIL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO THE COMMENCEMENT OF ANY EARTHWORK.

THE SOIL EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.

SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED NECESSARY, THEY SHALL BE PLACED NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR. IF NOT INSTALLED, ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES HAVE BEEN INSTALLED AND APPROVED.

ALL DISTURBED AREAS SHALL BE TOPSOILED WITH A MINIMUM OF 4" OF TOPSOIL, SEEDED AND MULCHED. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON AREAS DISTURBED BY CONSTRUCTION AND SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AFTER GROUND COVER IS ESTABLISHED, AT NO ADDITIONAL COST TO THE OWNER.

ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE ROADS SHALL BE REMOVED AT THE END OF EACH WORKING DAY.

ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.

ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.

DEMOLITION
ALL DEMOLITION SHALL BE IN ACCORDANCE WITH STATE AND FEDERAL CODES.

SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION.

UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES BY THE CONTRACTOR. WHERE UTILITIES ARE TO BE REINSTALLED OR RELOCATED, COORDINATE THESE ACTIVITIES WITH DEMOLITION WORK.

ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE PROPERTY AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE PERMITTED. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

EXCAVATED AREAS, HOLES, OPEN BASEMENTS, AND OTHER HAZARDOUS OPENINGS SHALL BE FILLED WITH CLEAN GRANULAR MATERIAL MEETING MDTOT CLASS II REQUIREMENTS. BACKFILL SHALL BE PLACED IN 8"-10" LIFTS LOOSE MEASURE AND COMPACTED TO 95% MAX. DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR (ASTM D 1557).

AT THE COMPLETION OF THE DEMOLITION OPERATIONS, THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION WITH ANY PROTECTIVE DEVICES AND BARRIERS REMOVED. ALL EXPOSED AREAS SHALL BE SUITABLY TOPSOILED, SEEDED AND MULCHED. ALL REPLACED OR REPAIRED ITEMS TO BE DONE TO EQUAL OR BETTER CONDITIONS.

SITE REMEDIATION
REFER TO SOILS REPORT FOR ALL SITE WORK AND BUILDING FOUNDATION PREPARATION.

EARTHWORK
CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ANY EARTHWORK CALCULATIONS NECESSARY. ENGINEER WILL WORK WITH THE CONTRACTOR TO AMEND GRADES AS DEEMED NECESSARY, WHERE POSSIBLE.

EXCESS TOPSOIL SHALL BE REMOVED FROM SITE.

ALL FILLED AREAS SHALL BE COMPACTED AND MOISTURE CONDITIONED. ALL BASE MATERIAL SHALL BE COMPACTED TO 95% OF ITS MAXIMUM UNIT WEIGHT.

PARKING LOT GRADING IN BARRIER FREE AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION. ALL BARRIER FREE ROUTES SHALL NOT EXCEED A 2% CROSS SLOPE AND 5.0% GRADE ALONG THE ROUTE UNLESS A CURB RAMP IS INDICATED.

CONTRACTOR SHALL REFER TO BUILDING PLANS FOR FOUNDATION EXCAVATION.

GRAVEL PLACEMENT MUST COMPLY WITH THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

GRADES AROUND THE BUILDING PAD SHALL BE SLOPED AWAY FROM THE STRUCTURE.

SANITARY SEWER SERVICE
CONNECTION TO EXISTING MUNICIPAL SEWER SYSTEM IS PROPOSED.

WATER SERVICE
A NEW CONNECTION TO MUNICIPAL WATER MAIN IS PROPOSED FOR DOMESTIC WATER SUPPLY. NO FIRE SUPPRESSION IS REQUIRED FOR THIS BUILDING.

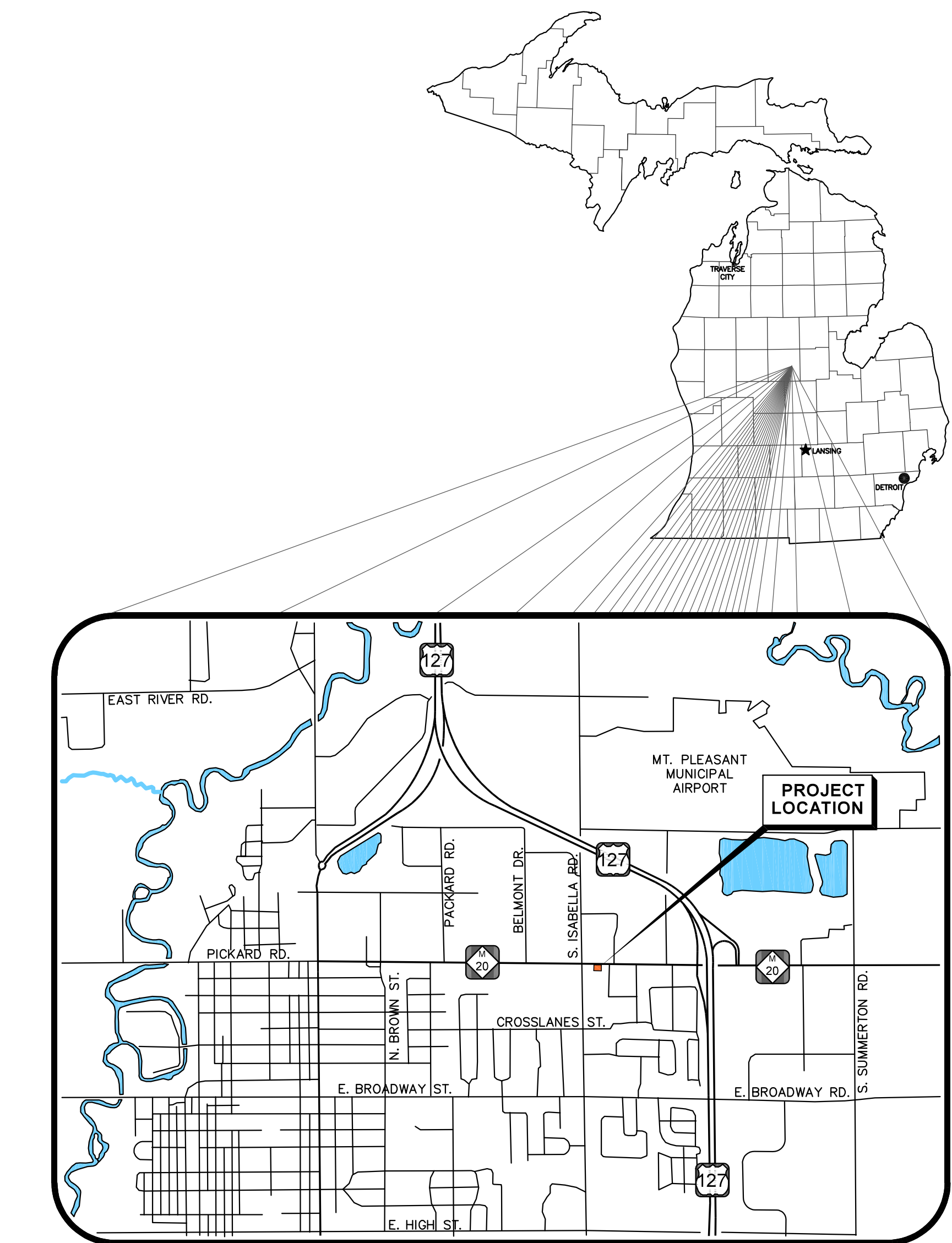
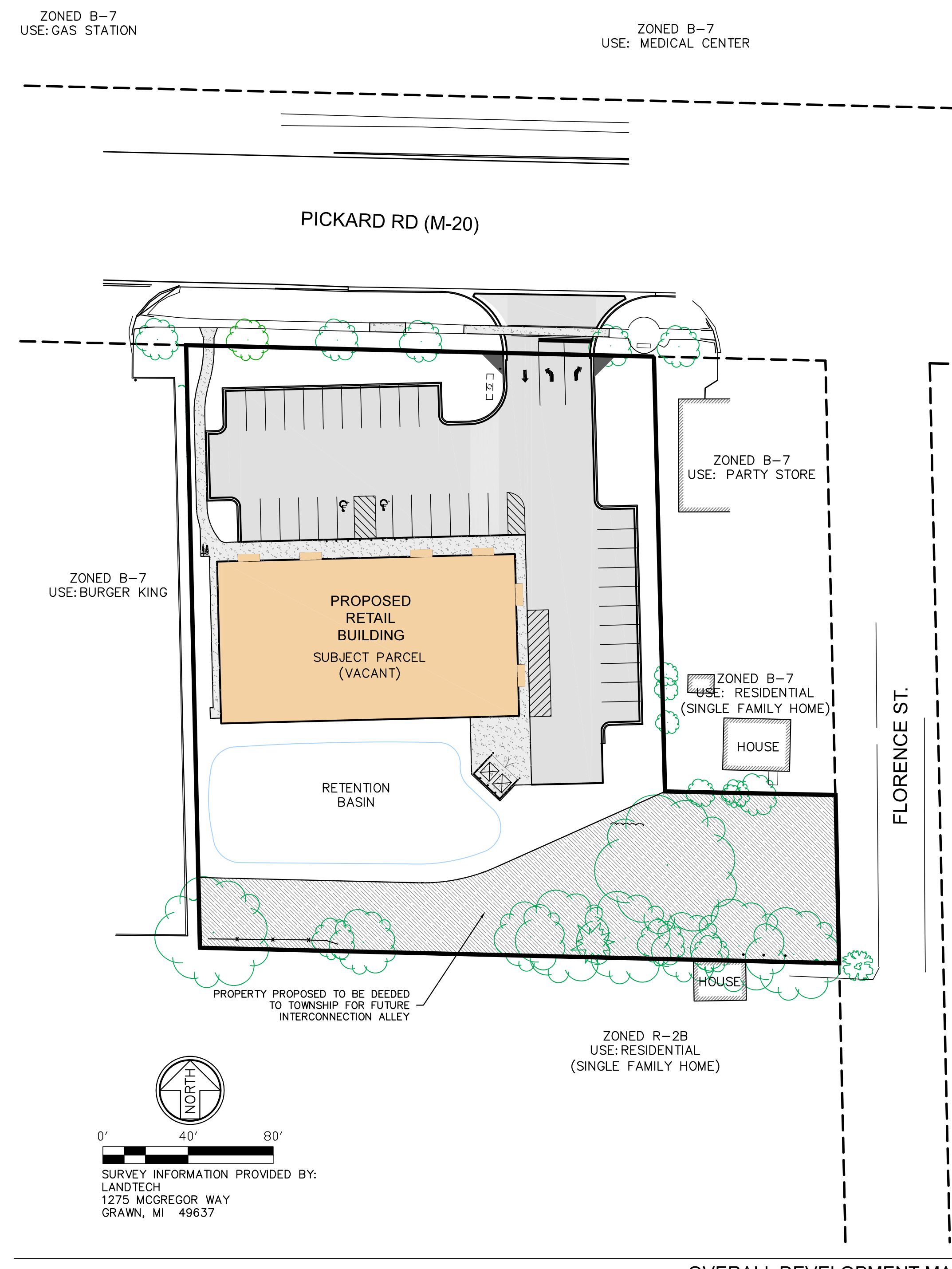
CONCRETE FLAT WORK
ALL CONCRETE SHALL BE A MINIMUM OF 4,000 PSI OR AS PRESCRIBED IN THE ARCHITECTURAL PLANS.

SITE LIGHTING
LIGHTING IS PROPOSED IN THIS PACKAGE AND TO BE INSTALLED BY ELECTRICAL CONTRACTOR.

BUILDING MOUNTED LIGHTING SHALL BE IN ACCORDANCE WITH THE TOWNSHIP LIGHTING ORDINANCE AND REVIEWED BY ZONING ADMINISTRATOR PRIOR TO INSTALLATION.

LIGHTING CONTRACTOR SHALL SECURE APPROVAL FROM MUNICIPALITY PRIOR TO SELECTING AND INSTALLING LIGHT FIXTURES.

ALL SITE LIGHTING SHALL BE DARK SKY TYPE AND LIGHT RAYS CUT OFF AT THE PROPERTY LINES AND MEET ALL PRESCRIBED REQUIREMENTS OF THE ORDINANCE.



EXISTING SURVEY INFORMATION	SITE INFORMATION
<p>PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 336300LKS.</p> <p>ALL OF LOT 25, ALSO LOT 4 EXCEPT THE EAST 20 FEET THEREOF; AND THE EAST 59.77 FEET OF LOT 3 AND THE EAST 59.77 FEET OF LOT 16, ALL IN THE PLAT OF WARDS VIEW SUBDIVISION, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.</p> <p>PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 343120LKS.</p> <p>LOT 5 AND THE EAST 20 FEET OF LOT 4 OF WARD'S VIEW SUBDIVISION, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.</p> <p>TOTAL EXISTING PROPERTY AREA AS DESCRIBED ABOVE = 68,518 SF TOTAL PROPERTY TO BE DEEDED = 15,838 SF TOTAL PROPERTY AREA REMAINING FOR DEVELOPMENT = 52,680 SF</p>	<p>APPLICANT / OWNER: MIDWEST V, LLC 1435 FULTON ST., 2ND FLOOR GRAND HAVEN, MI 49417 CONTACT: PETER OLESZCZUK PHONE: (616) 842-2030</p> <p>SITE INFORMATION: 5048 E. PICKARD ROAD MT. PLEASANT, MI 48858</p> <p>PARCEL IDS: 37-14-148-00-003-00 (5048 PICKARD) 37-14-148-00-005-00 (5082 PICKARD)</p> <p>USE: ZONING: B-7, RETAIL & SERVICE HWY BUSINESS CURRENT USE: VACANT HOUSE/VACANT LAND PROPOSED USE: RETAIL BUSINESS</p> <p>SETBACKS REQUIRED: FRONT: 15 FT SIDE: 10 FT REAR: 10 FT</p>

<p>NOTE: WALL SIGNAGE AND STREET SIGNAGE WILL BE UNDER A SEPARATE SIGN APPLICATION.</p>	<p>PROPOSED PARCEL SIZE = 52,680 SF (EXCLUSIVE OF THE PARCEL TO BE DEEDED TO TOWNSHIP OR DDA)</p> <p>PROPOSED BUILDING = 10,640 SF BUILDING LOT COVERAGE = 20%</p> <p>PROPOSED IMPERVIOUS = 32,598 SF (BUILDING, ASPHALT AND CONCRETE) IMPERVIOUS LOT COVERAGE = 62%</p>
<p>HAZARDOUS SUBSTANCES</p> <p>RETAIL BUSINESS WILL NOT USE, STORE OR GENERATE HAZARDOUS SUBSTANCES OR POLLUTING MATERIALS</p>	<p>LOT COVERAGE</p>
<p>PROJECT SCHEDULE</p> <p>UPON RECEIPT OF PERMITS, PROJECT WILL TAKE APPROXIMATELY 7 MONTHS TO COMPLETE.</p>	<p>SHEET SHEET TITLE</p> <p>C1.0 GENERAL INFORMATION C1.1 EXISTING CONDITIONS/DEMOLITION PLAN C1.2 SITE AND UTILITY PLAN C1.3 GRADING PLAN C1.4 SESC PLAN C5.1 DETAIL SHEET L1.0 LANDSCAPE PLAN</p>
<p>PROJECT PHASING</p> <p>PROJECT WILL BE COMPLETED IN ONE PHASE</p>	<p>SHEET INDEX</p>
<p>HOURS OF OPERATION</p> <p>8AM TO 10PM, 7 DAYS A WEEK. SCHEDULE MAY BE ALTERED</p>	<p>PARKING INFORMATION</p> <p>TOTAL BUILDING AREA = 10,640 SF RETAIL SALES AREA = 8,600 SF (UFA)</p> <p>PARKING RATIO=1 PER 250 SF USABLE FLOOR AREA</p> <p>PARKING REQUIRED 8600/250=34.4 (35 SPACES REQUIRED)</p> <p>SPACES PROVIDED = 35 (INCLUDES 2 A.D.A. ACCESSIBLE SPACES)</p>

NOTES

OVERALL DEVELOPMENT MAP

PROJECT LOCATION MAP

jozwiak consulting
p.o. box 6042 | farmers city, mi 49606 | 231.216.1201
www.jozwiakconsulting.com

SITE ENGINEER
PLANNING DATE: 5-21-2021
SITE PLAN SUBMITTAL TO TOWNSHIP

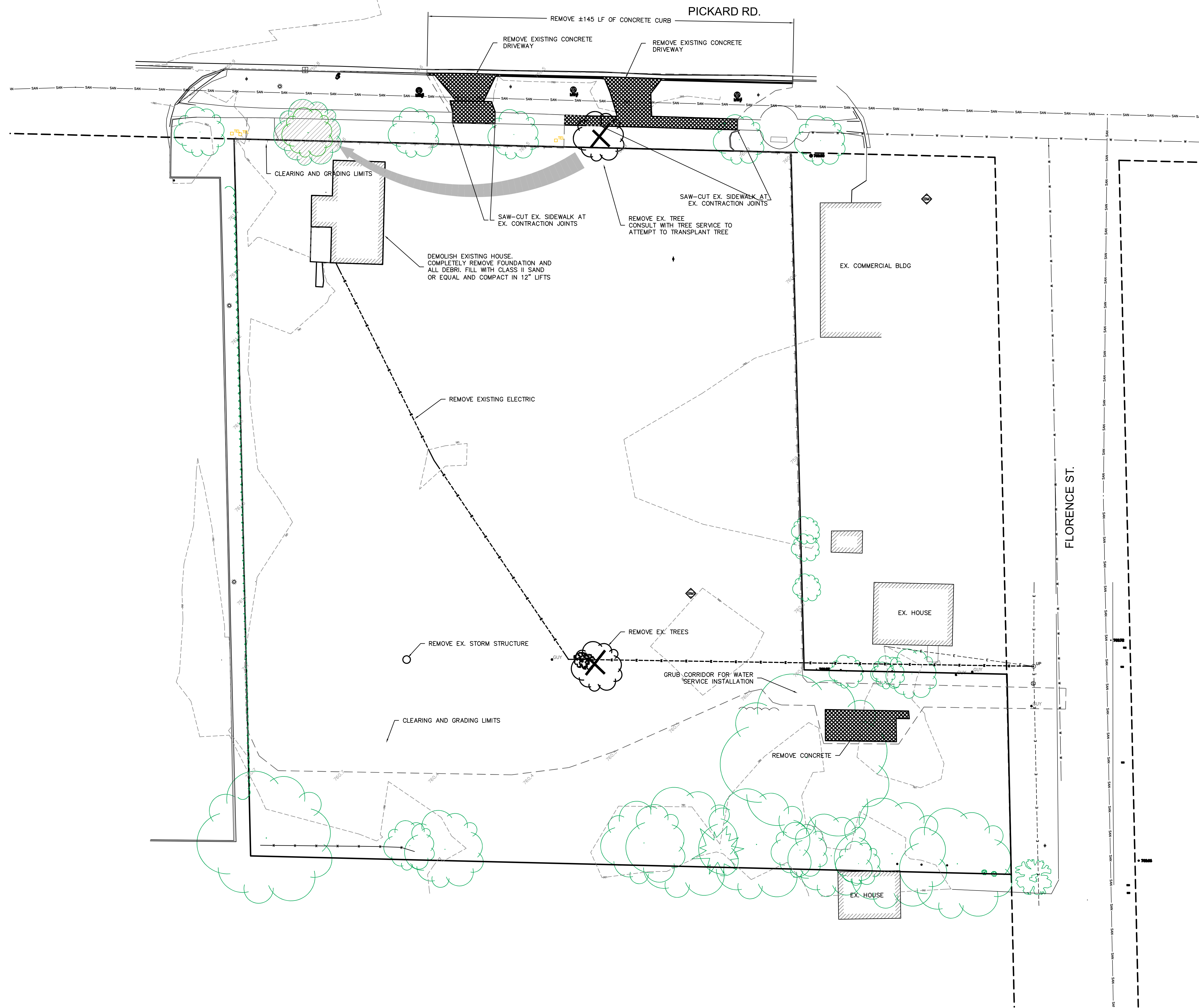
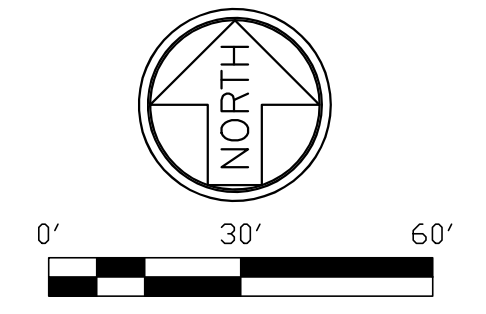
PROJECT: RETAIL BUSINESS
CLIENT: MT. PLEASANT, MICHIGAN
PROJECT NO.: 2021-101

LOCATION: 5048 & 5082 E. PICKARD ROAD
MT. PLEASANT, MI 48858

CLIENT: MIDWEST V, LLC
1435 FULTON ST., 2ND FLOOR
GRAND HAVEN, MI 49417

GENERAL INFORMATION

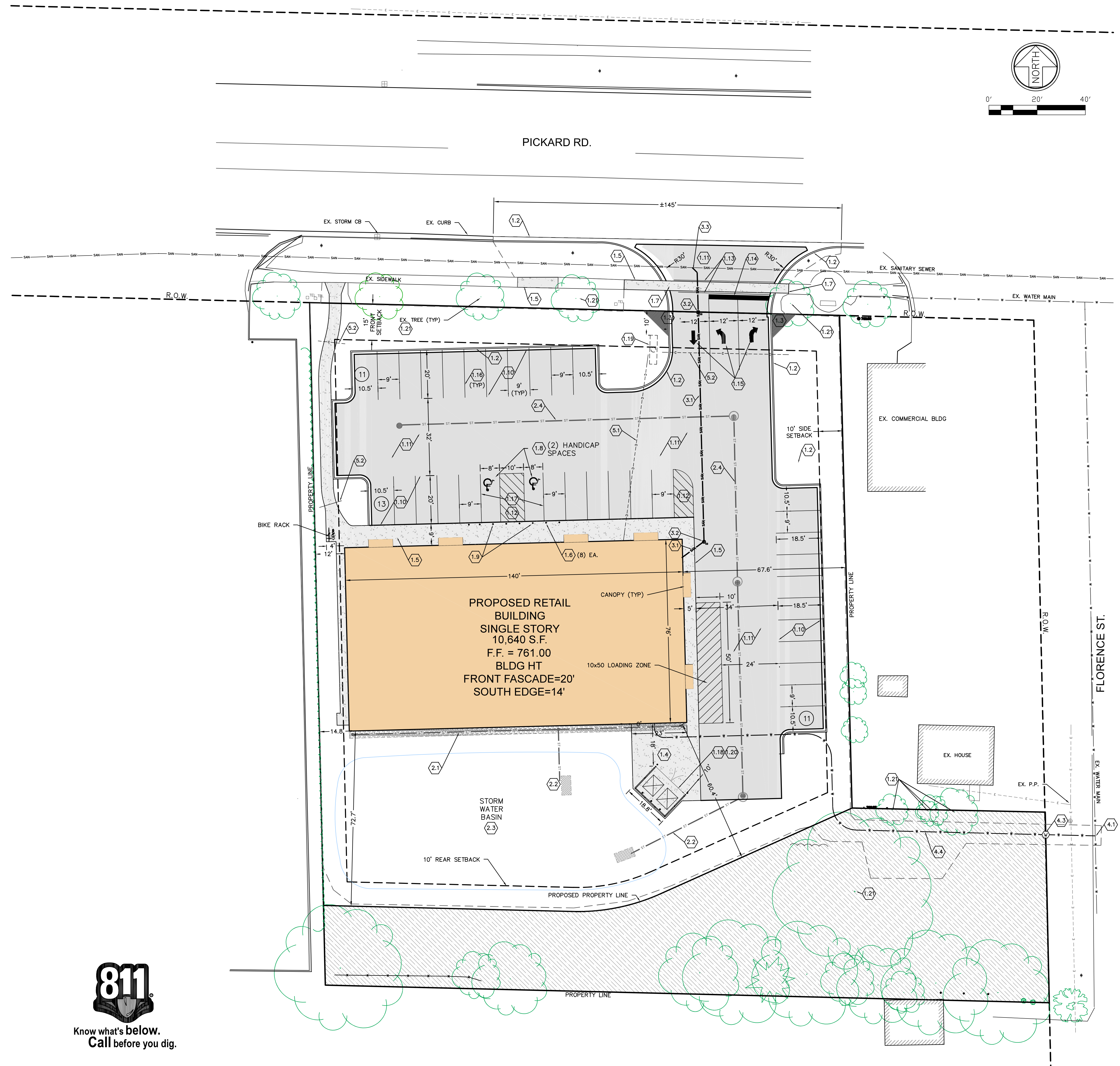
C1.0



LEGEND

	EXISTING ASPHALT PAVEMENT
	ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK

1. Site
 - 1.1. Not used
 - 1.2. Install MDOT F-2 curb with regular plan. See detail C5.3
 - 1.3. Clear sight triangle. No plantings or visual obstructions over 24" in height.
 - 1.4. Construct 6" thick unreinforced concrete pad/apron. See detail sheet C5.1
 - 1.5. Construct 4" thick unreinforced concrete sidewalk. See detail sheet C5.1
 - 1.6. Provide and install 6" diameter steel bollards with plastic yellow covers per detail sheet C5.1.
 - 1.7. Concrete ramp to meet current ADA grading standards.
 - 1.8. Construct pavement, curb and sidewalk in accordance with barrier free parking and sidewalk detail on sheet C5.1
 - 1.9. Provide and install barrier free signs. One sign shall have the van placard. See detail.
 - 1.10. Asphalt paving per detail sheet C5.1
 - 1.11. Heavy Duty Asphalt paving per detail sheet C5.1
 - 1.12. 3" wide striping at 45 degree angle, 3 feet on center. Blue for ADA and yellow for loading zone.
 - 1.13. Cross walk 3" wide white stripes. Surfaces should be clean and dry. Use Sherwin Williams Promar traffic marking paint.
 - 1.14. 2 ft wide white stop bar
 - 1.15. Directional arrows, yellow
 - 1.16. Stripe parking lot with 3" wide yellow stripes. Surfaces should be clean and dry. Use Sherwin Williams Promar traffic marking paint, yellow, TM5495.
 - 1.17. Stripe handicap parking spaces with 3" wide blue stripes. Surfaces should be clean and dry. Use Sherwin Williams Promar traffic marking paint, H.C. blue.
 - 1.18. Install concrete dumpster 6" unreinforced concrete pad. See detail sheet C5.1.
 - 1.19. Proposed pylon sign location. Design and permitting by others.
 - 1.20. Construct dumpster enclosure with gate. See detail sheet C5.1.
 - 1.21. Maintain existing grade around trees not designated for removal. Protect during construction.
2. Storm
 - 2.1. Install 8" ADS smooth wall pipe with drain slots (no slope). Contractor to provide necessary fittings to connect roof drains.
 - 2.2. Install pipe end dissipator at pipe outlet. See detail sheet C5.1
 - 2.3. Construct infiltration basin. See sheet C1-3.
 - 2.4. Install 12" ADS N-12 storm sewer. See sheet C1-3.
3. Sanitary
 - 3.1. Install 4" pvc sch 40 sewer lateral from building to sanitary sewer. Minimum slope to be 1%. Install 2" rigid insulation over pipe along the run where depth of cover is less than 4'.
 - 3.2. Install clean-out and bring flush with finish grade. See detail sheet C5.2.
 - 3.3. Connect to existing sanitary sewer main. Coordinate with City DPW.
 - 3.4. Not used
 - 3.5. Not used
4. Water
 - 4.1. Live tap existing watermain. Coordinate with City DPW.
 - 4.2. Not used
 - 4.3. Install curb-stop and box. Coordinate with City DPW.
 - 4.4. Provide and install 1" HDPE water service from curb stop to building. Work completed by site work contractor.
5. Conduit
 - 5.1. Install 2" electric conduit to sign
 - 5.2. Install 1-3" sleeve under drive and/or sidewalk for irrigation.
 - 5.3. Not used
6. Other Utilities
 - 6.1. Gas meter location. Coordinate with architectural plans and utility provider.
 - 6.2. Electric meter and phone connection location. Coordinate with architectural plans and utility provider.
7. Site Lighting
 - 7.1. All site lighting is building mounted and shown on the architectural elevations. No pole lighting is proposed. Lighting shall meet the Township Zoning Ordinance and shall not be mounted higher than 20' and shall be shielded to the surface so as not to shine onto any adjacent properties, public right of ways or sky.



KEYED NOTES

BASIS OF DESIGN
 INFILTRATION BASIN SIZED TO RETAIN THE 100-YEAR, 24 HOUR DEVELOPED STORM EVENT.
 INFILTRATION NOT ACCOUNTED FOR IN VOLUME CALCULATION AS A FACTOR OF SAFETY

BASIN 'A'

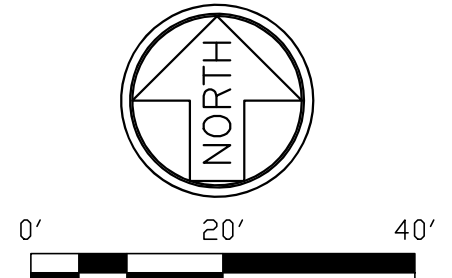
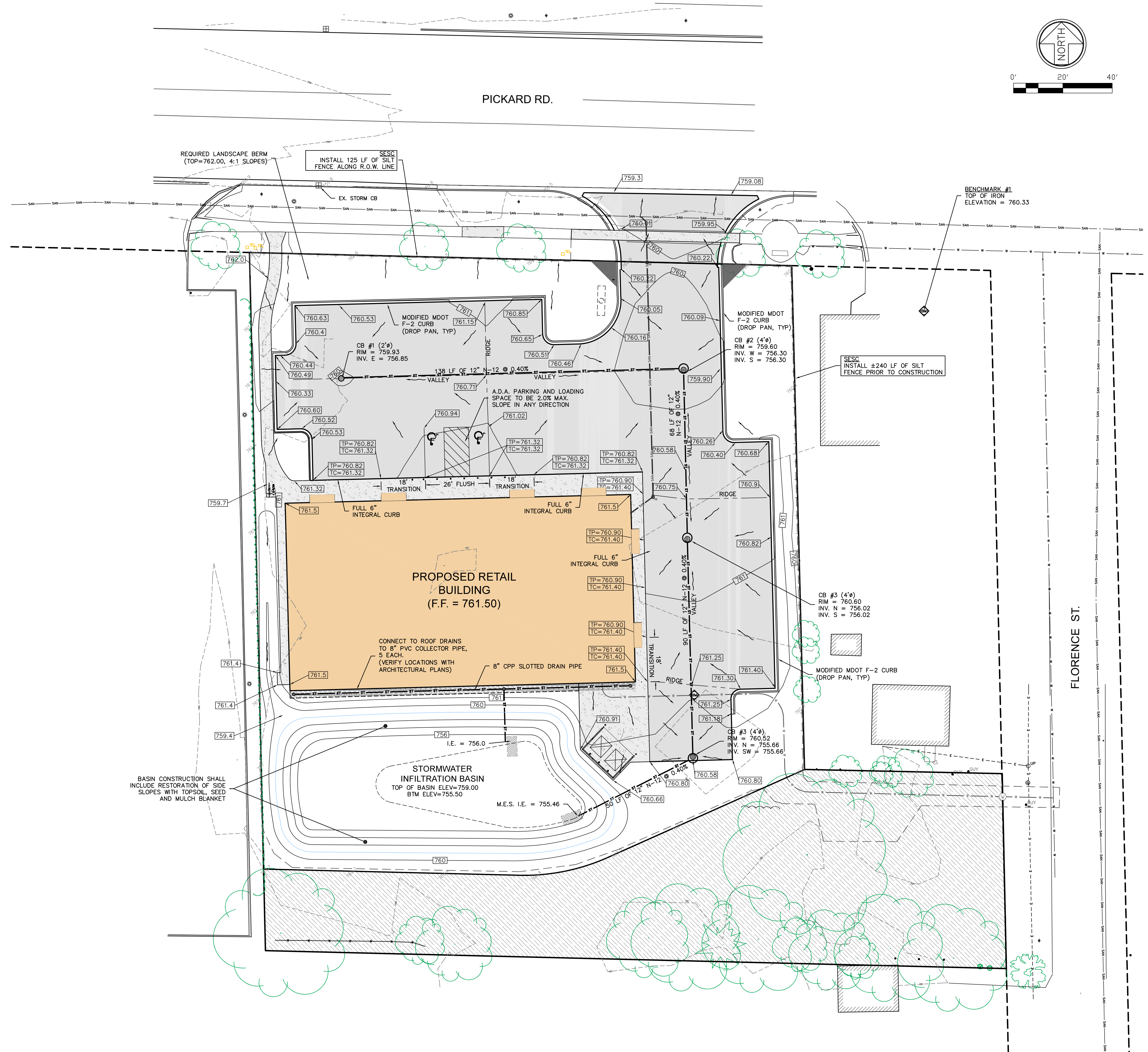
DEVELOPED AREAS
 BUILDING = 10,640 SF (C=0.98)
 PAVEMENT = 18,471 SF (C=0.95)
 CONCRETE = 3,487 SF (C=0.95)
 OPEN = 27,000 SF (C=0.20)
 TOTAL = 59,598 SF (Cw=0.61)
 1.36 AC

100-YR, 24-HR STORM RAINFALL DEPTH = 5.62"
 100-YR VOLUME = CIA = 0.61 * 5.62 / 12 * 1.36 * 43,560 S.F./AC = 16,924 C.F.

VOLUME PROVIDED = 17,112 CF

NOTE: AS STATED, INFILTRATION WAS NOT ACCOUNTED FOR IN THE VOLUME CALCULATIONS. SOILS ARE PREDOMINANTLY SAND. ALTHOUGH INFILTRATION IS HIGH, USE OF INFILTRATION WAS NOT INCLUDED IN THE CALCULATIONS WHICH PROVIDES A HIGHER DEGREE OF SAFETY.

STORMWATER MANAGEMENT ANALYSIS



NOTE:
 ALL GRADES ALONG CURBS ARE TOP OF PAVEMENT (BOTTOM OF CURB FACE). SURVEYOR AND CONTRACTOR TO PROVIDE NECESSARY CALCULATIONS TO ESTABLISH TOP-BACK OF CURB AND SIDEWALK ELEVATIONS.

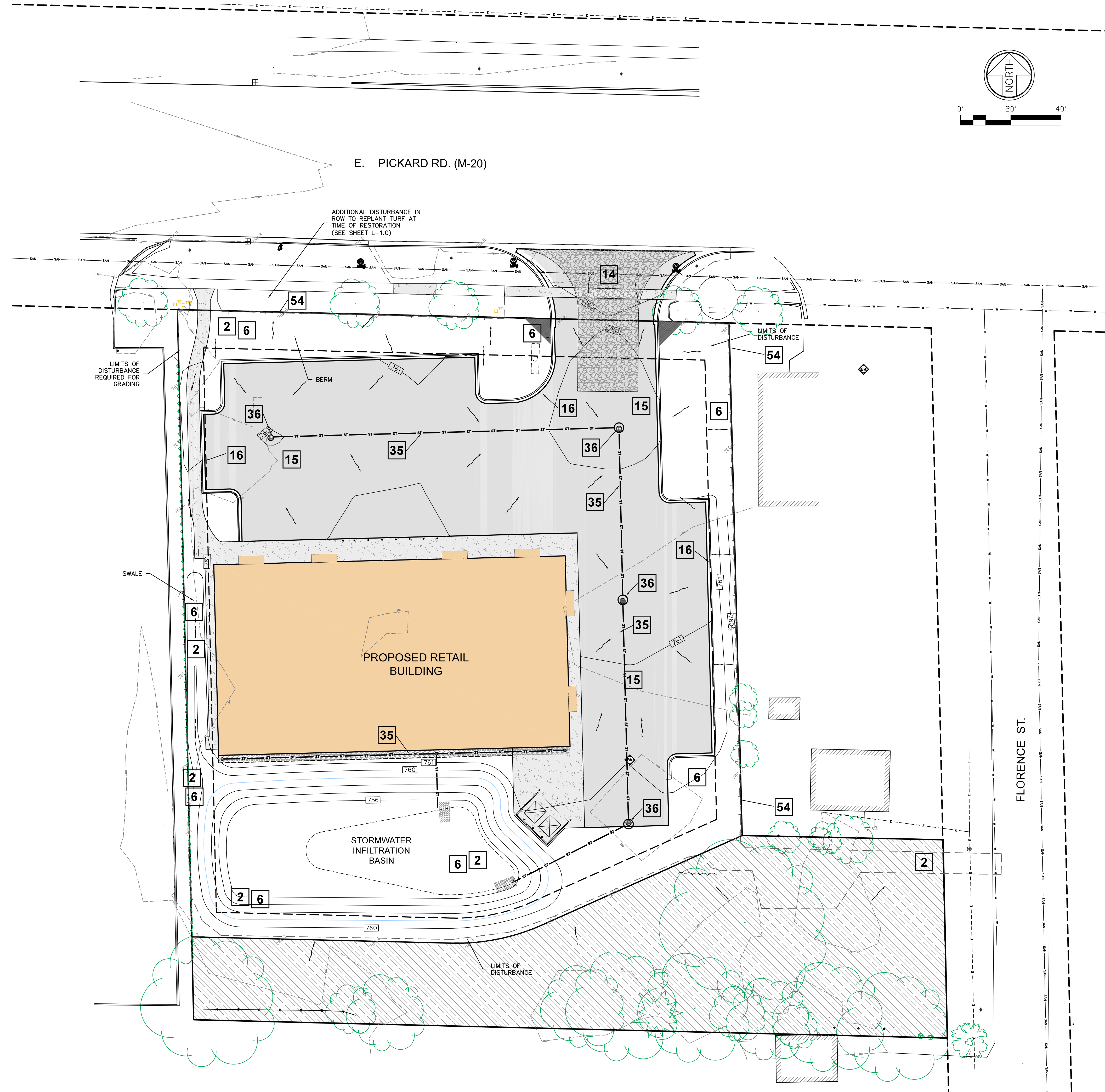
APPLIED AT % SITEWORK COMPLETE	KEY	DETAIL	CHARACTERISTICS
20%	2	Selective Grading & Shaping	Water can be diverted to minimize erosion Flatter slopes ease erosion problems
10-50%	6	Seeding with Mulch Blanket and/or Matting	Facilitates establishment of vegetative cover Effective for drainageways with low velocity Easily placed in small quantities by inexperienced personnel Should include prepared topsoil bed
20%	14	Anti-Tracking Pad	Stabilizes surface, thus minimizing erosion Permits construction traffic in adverse weather May be used as part of permanent base construction of paved areas
80-100%	15	Paving	Protects areas which cannot otherwise be protected, but increases runoff volume and velocity Irregular surface will help slow velocity
90-100%	16	Curb & Gutter	Keeps high velocity runoff on paved areas from leaving paved surface Collects and conducts runoff to enclosed drainage system or prepared drainageway
90-100%	35	Storm Sewer	System removes collected runoff from site, particularly from paved areas Can accept large concentrations of runoff Conducts runoff to municipal sewer system or stabilized outfall location Use catch basins to collect sediment
40-100%	36	Catch Basin, Drain Inlet	Collects high velocity concentrated runoff Use filter cloth over inlet
0-100%	38	Silt Fence Straw Bale Filter	Filters and detains runoff Inexpensive and easy to construct Can be located as necessary to collect sediment May be used in conjunction with silt fence for added stability
1%	54	Silt Fence	Filters and detains runoff

DISTURBANCE LIMITS = 54,734 SF (1.26 ACRES)

SOILS: SOILS ARE PREDOMINANTLY SAND AND ARE SUITABLE FOR SUBGRADE. IT IS INTENDED THAT THE SITE WILL BALANCE AND THAT THE ONLY EXPORT OF MATERIALS WILL BE EXCESS TOPSOIL

NEAREST WATERBODY: GREVES LAKE IS LOCATED 2800 FEET TO THE NORTHEAST OF THE PROJECT. AN UNNAMED POND IS LOCATED 1500 FEET NORTH OF THE PROJECT.

SOIL EROSION CONTROL INFORMATION

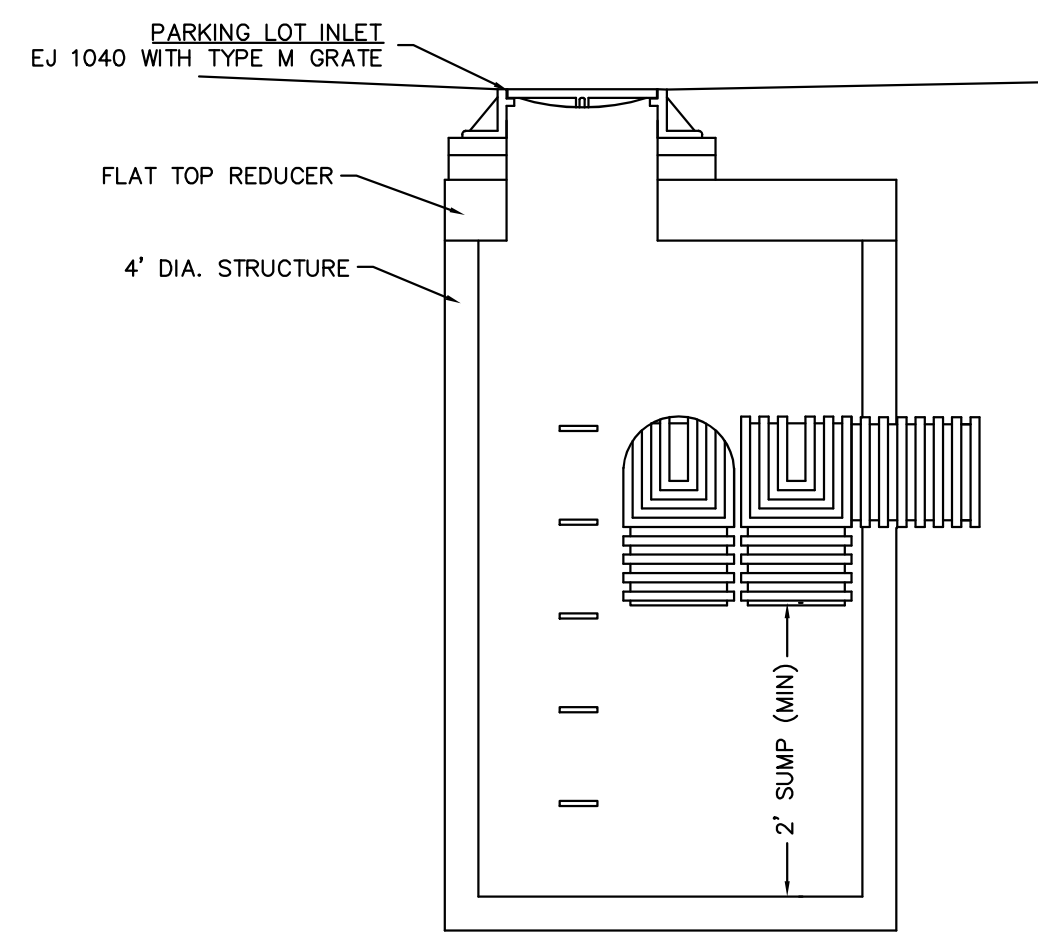


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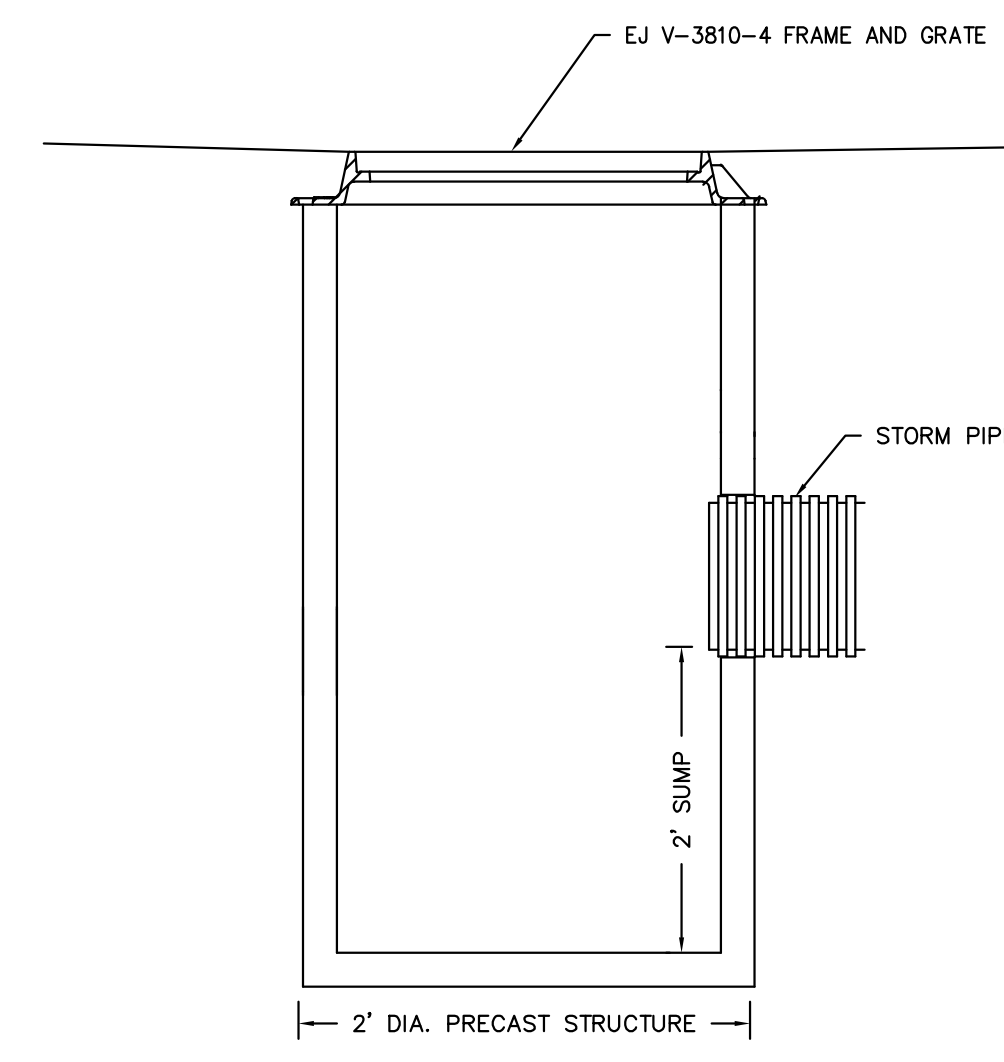
PROJECT NO.: 2021-101
SOIL EROSION AND SEDIMENTATION CONTROL PLAN
C1.4

PLAN DATE: 5-21-2021
SITE ENGINEER: [Signature]
SITE PLAN SUBMITTAL TO TOWNSHIP

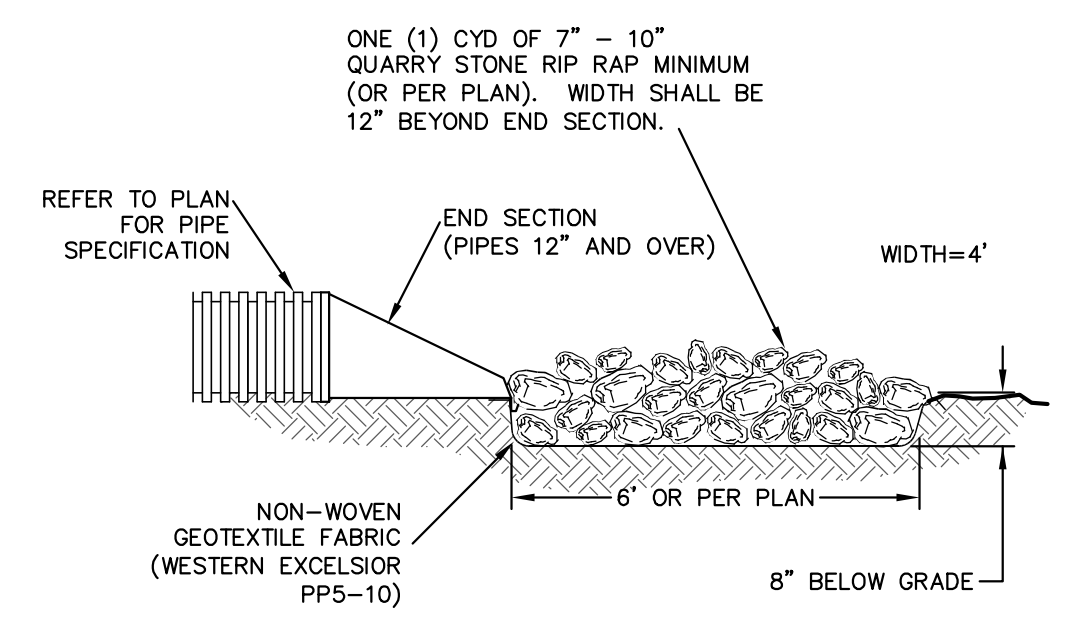
LOCATION: 5048 & 5082 E. PICKARD ROAD
MT. PLEASANT, MI 48858



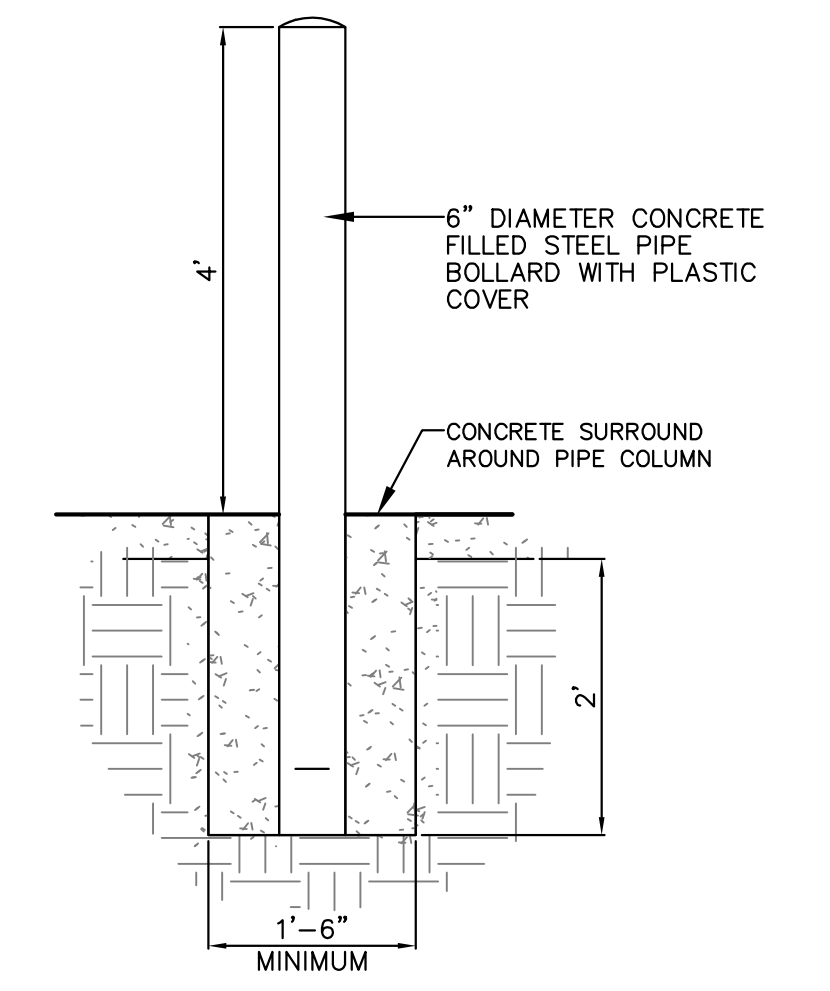
4' DIA. CATCH BASIN DETAIL



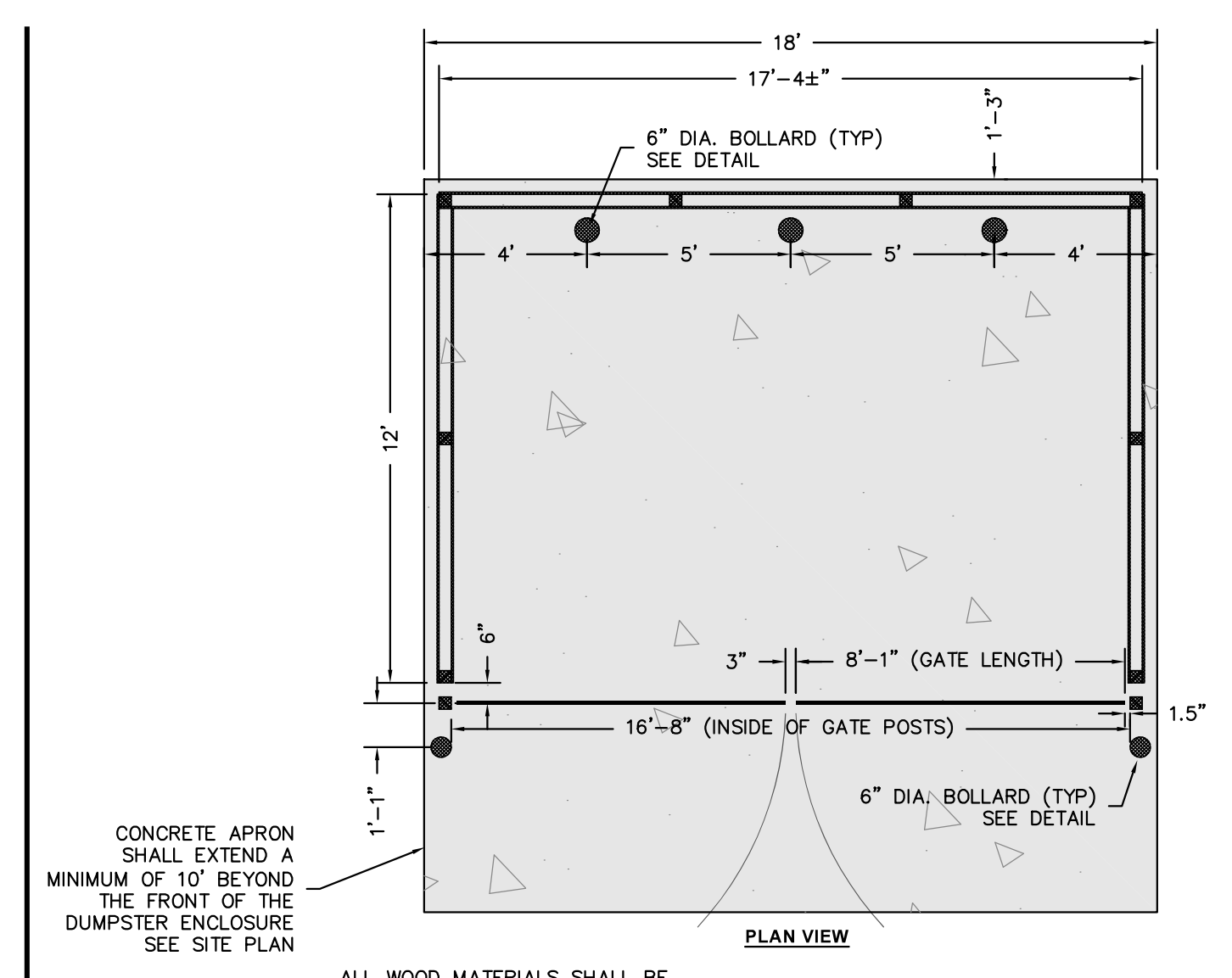
2' DIA. CATCH BASIN DETAIL



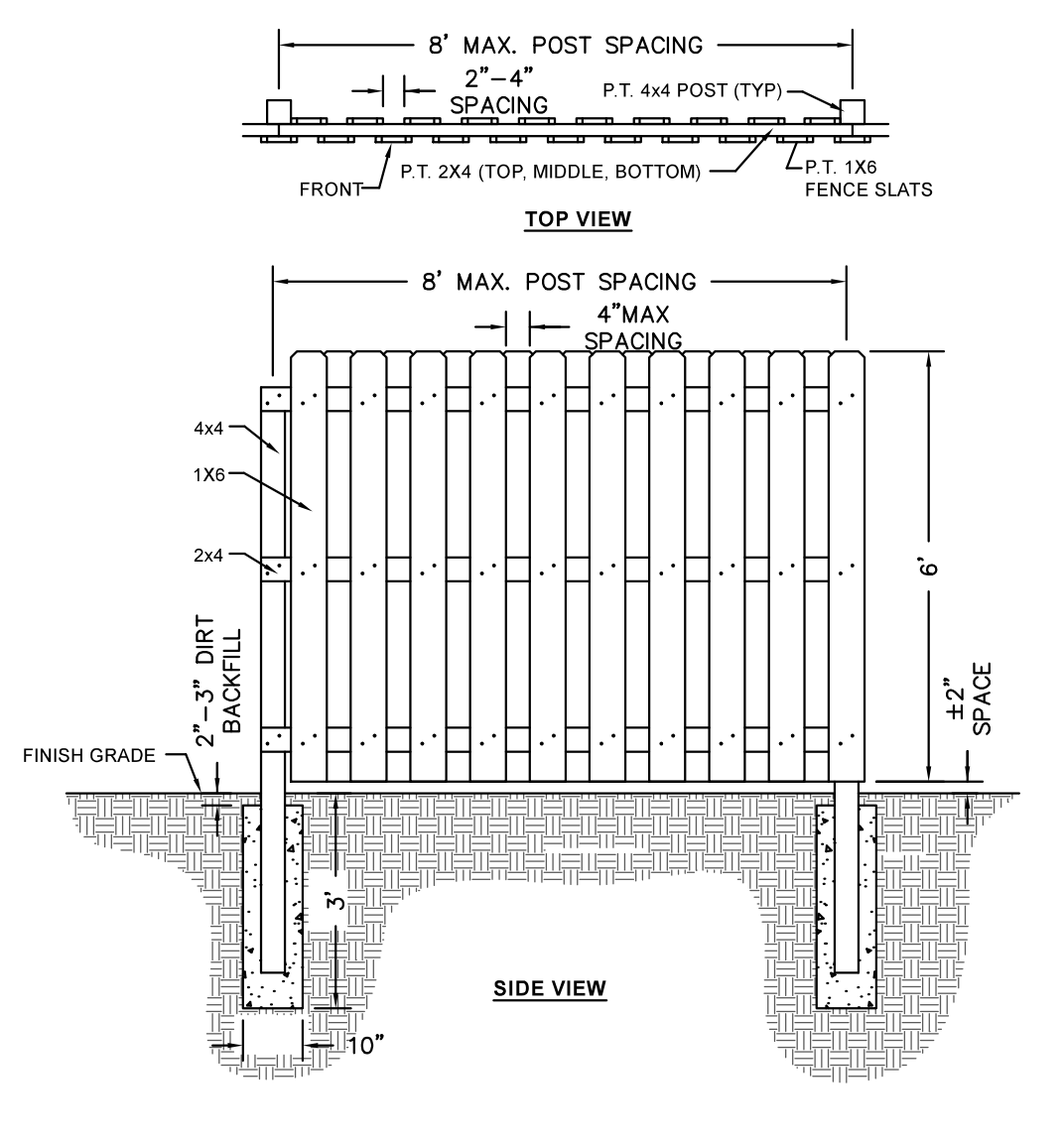
STORM OUTLET



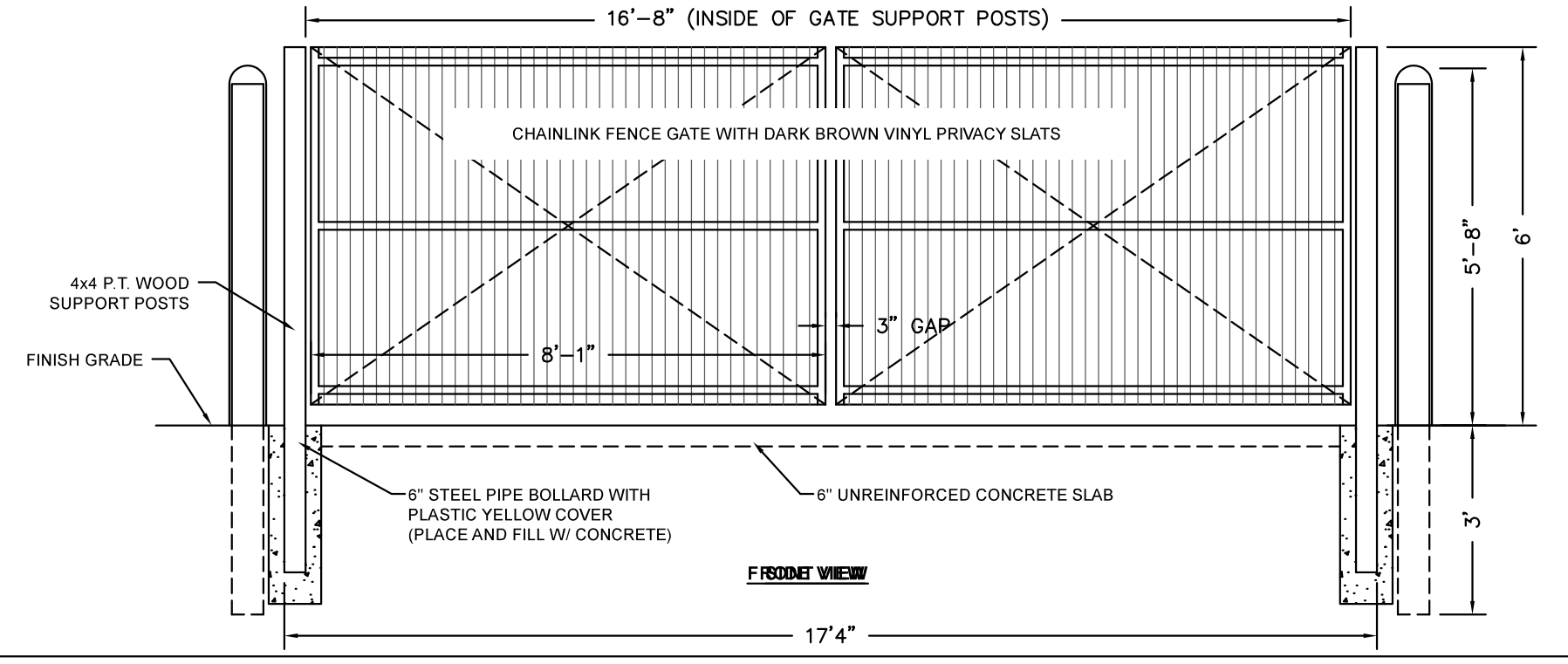
PIPE BOLLARD DETAIL



PLAN VIEW

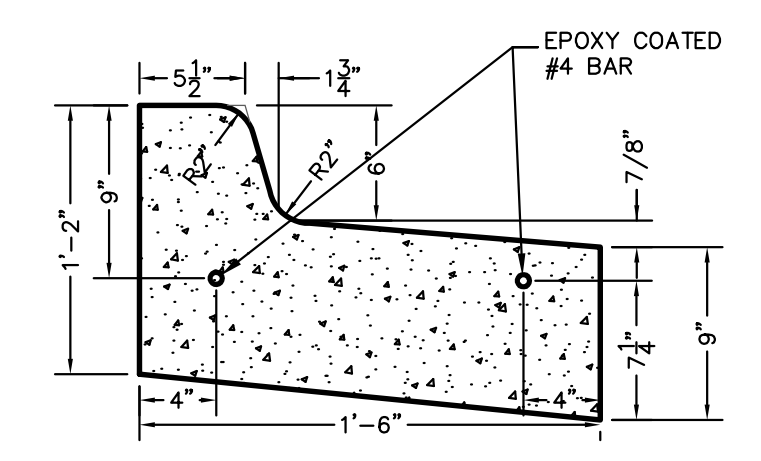


SIDE VIEW

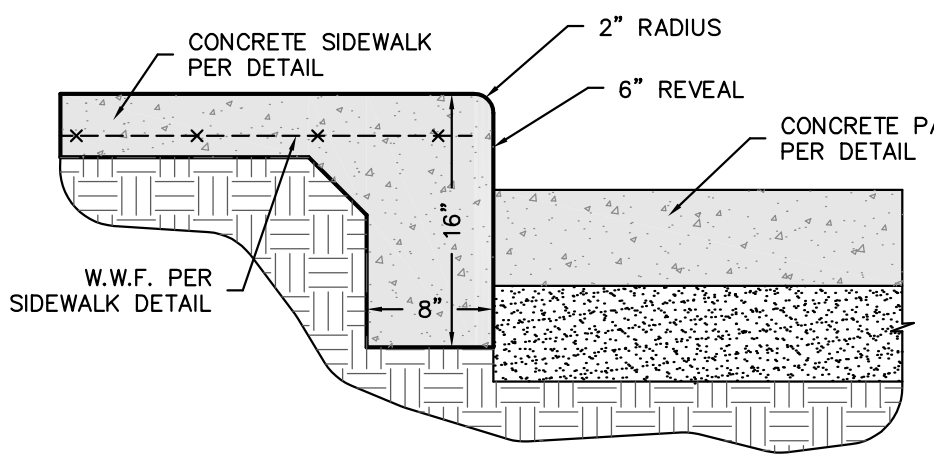


FRONT VIEW

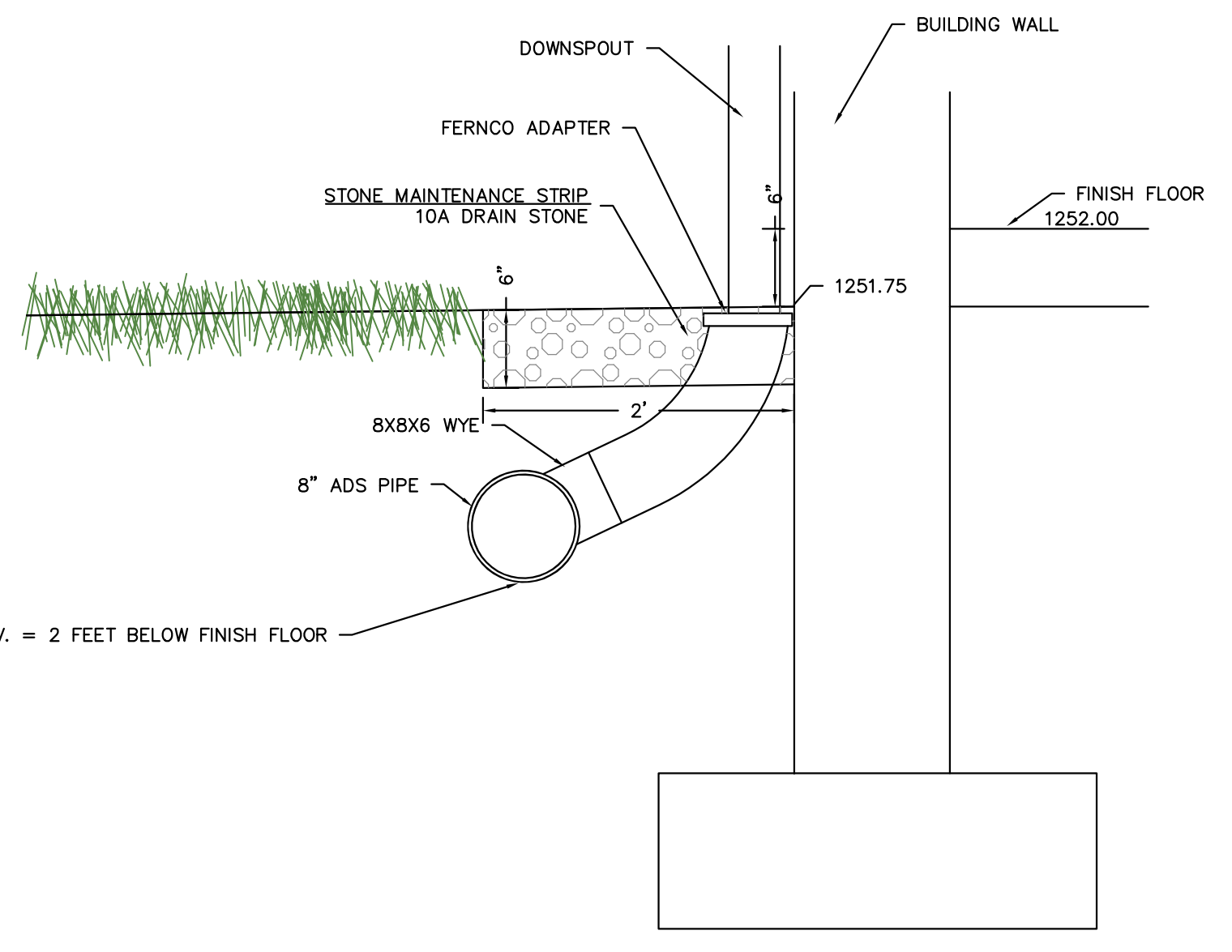
DUMPSTER ENCLOSURE DETAIL



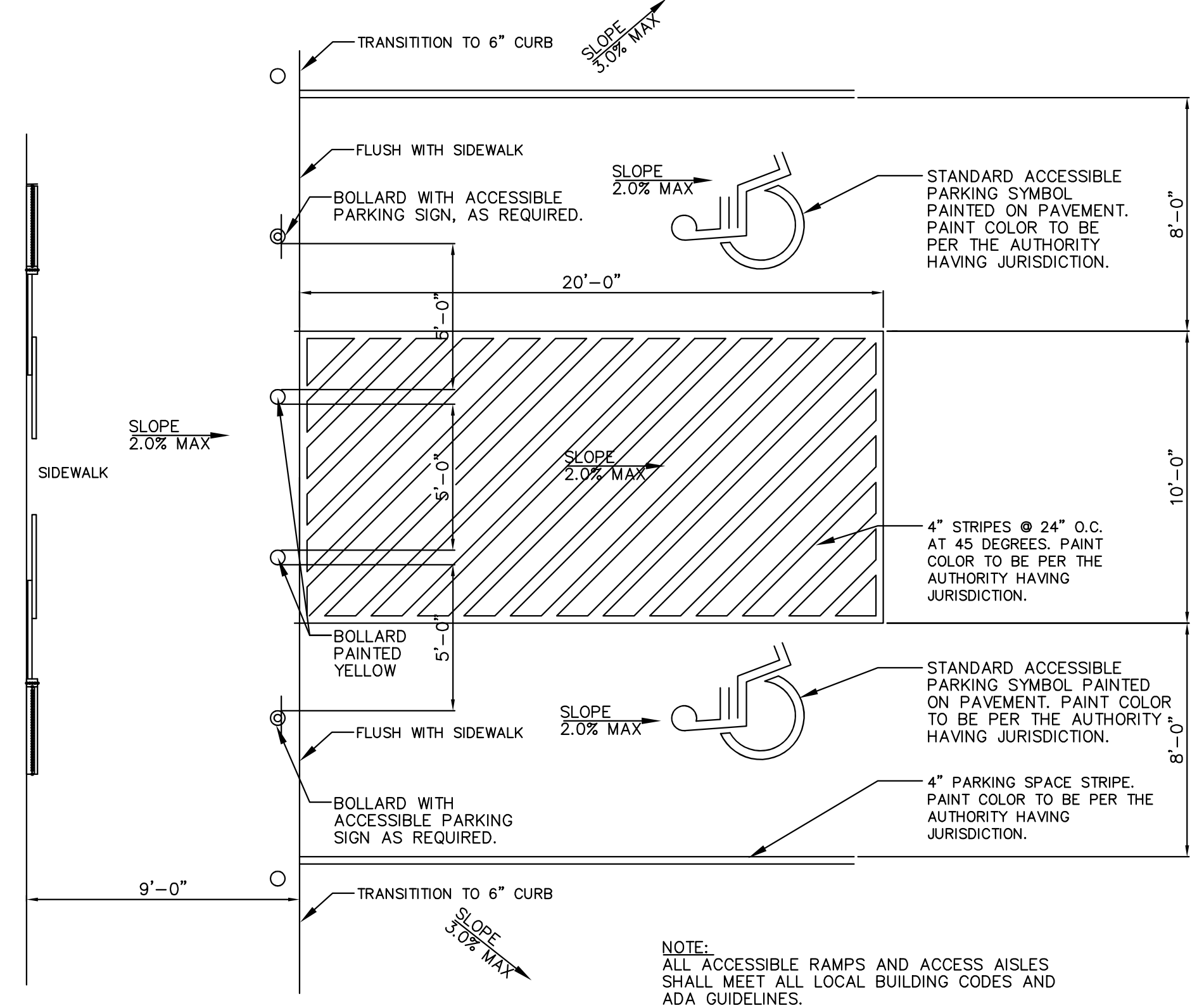
MODIFIED F-2 CURB DETAIL



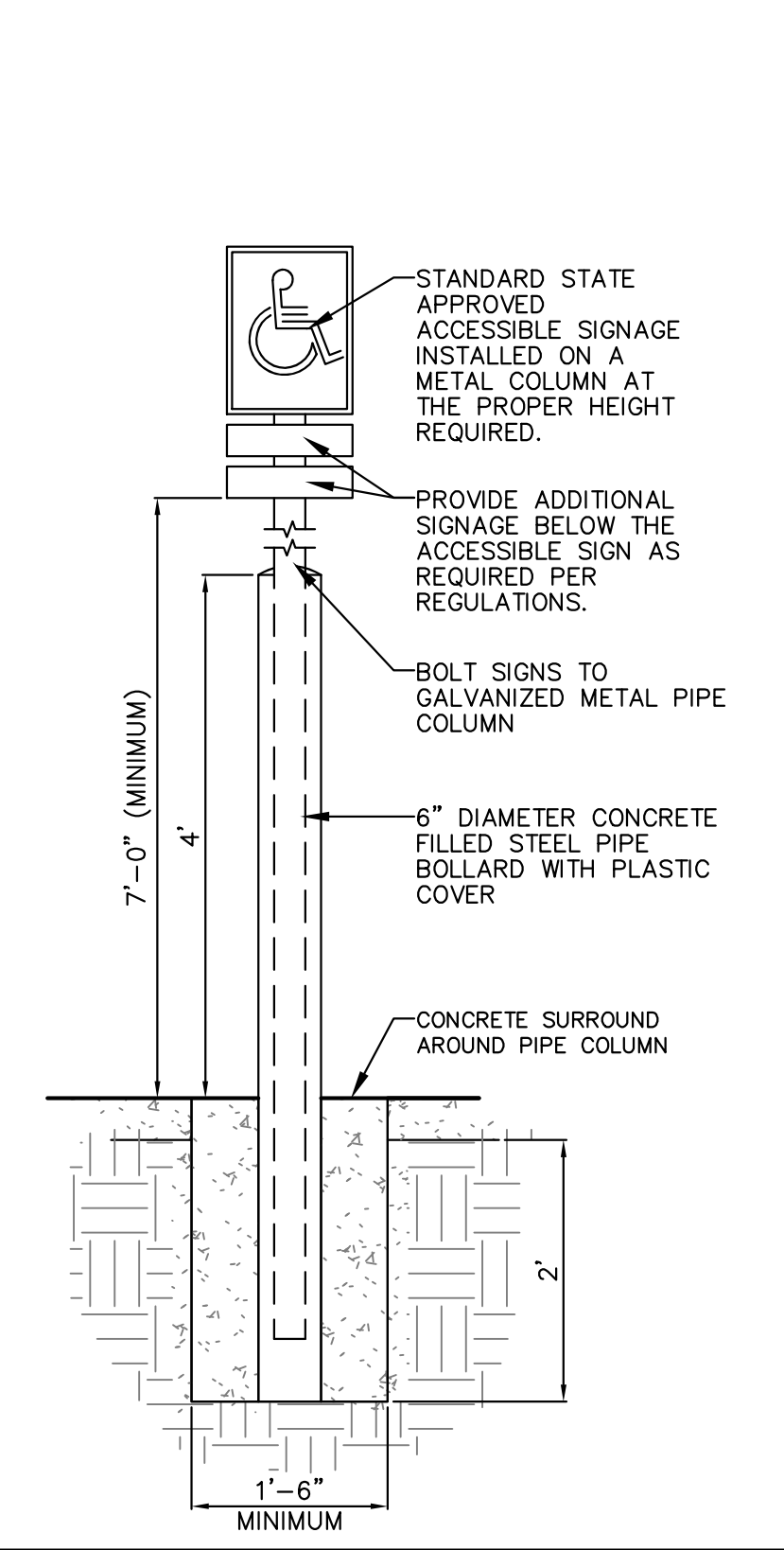
INTEGRAL CURB/SIDEWALK DETAIL



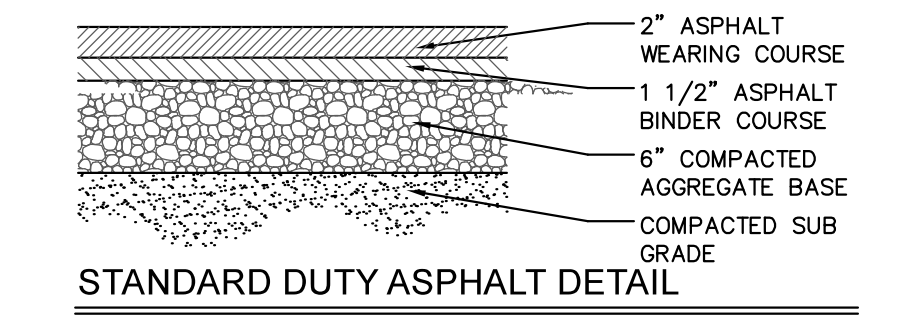
DOWNSPOUT CONNECTION DETAIL



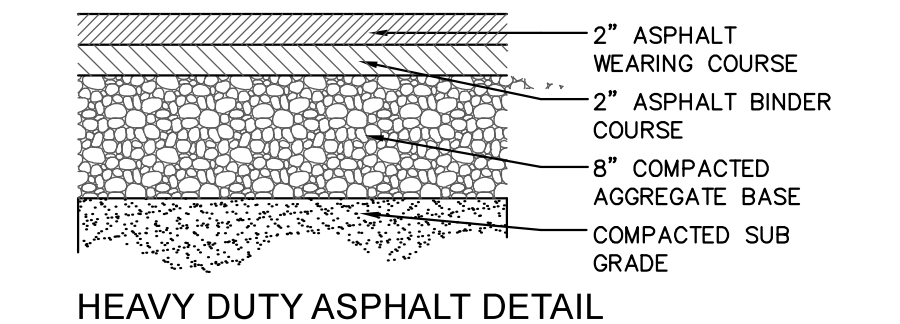
A.D.A. PARKING DETAIL



B/F SIGN DETAIL

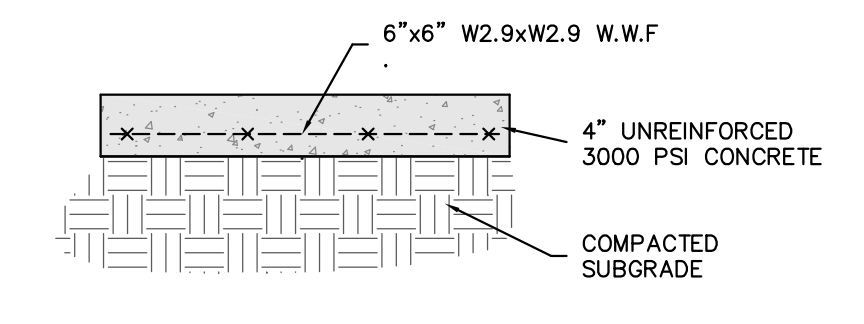


STANDARD DUTY ASPHALT DETAIL

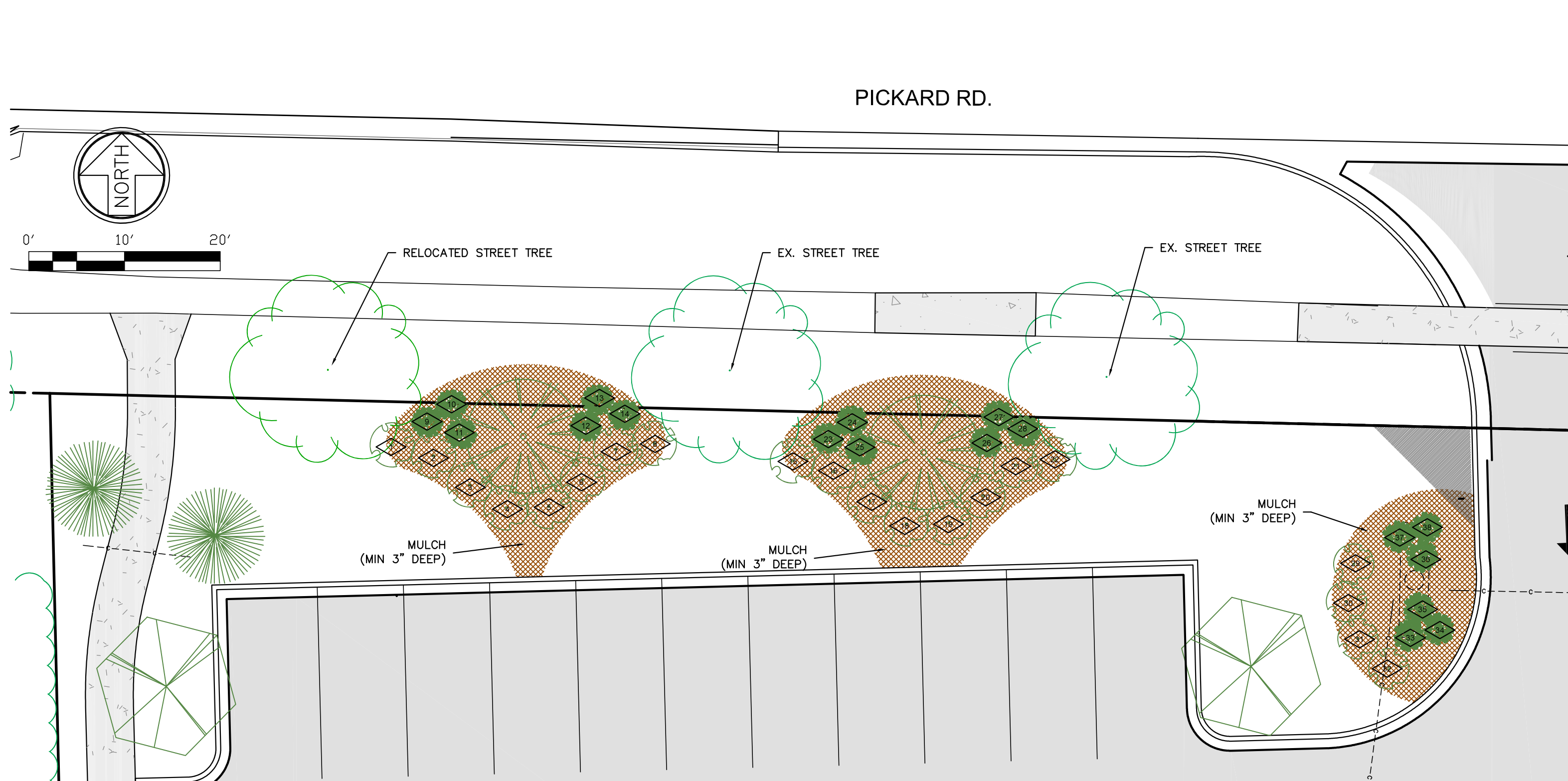
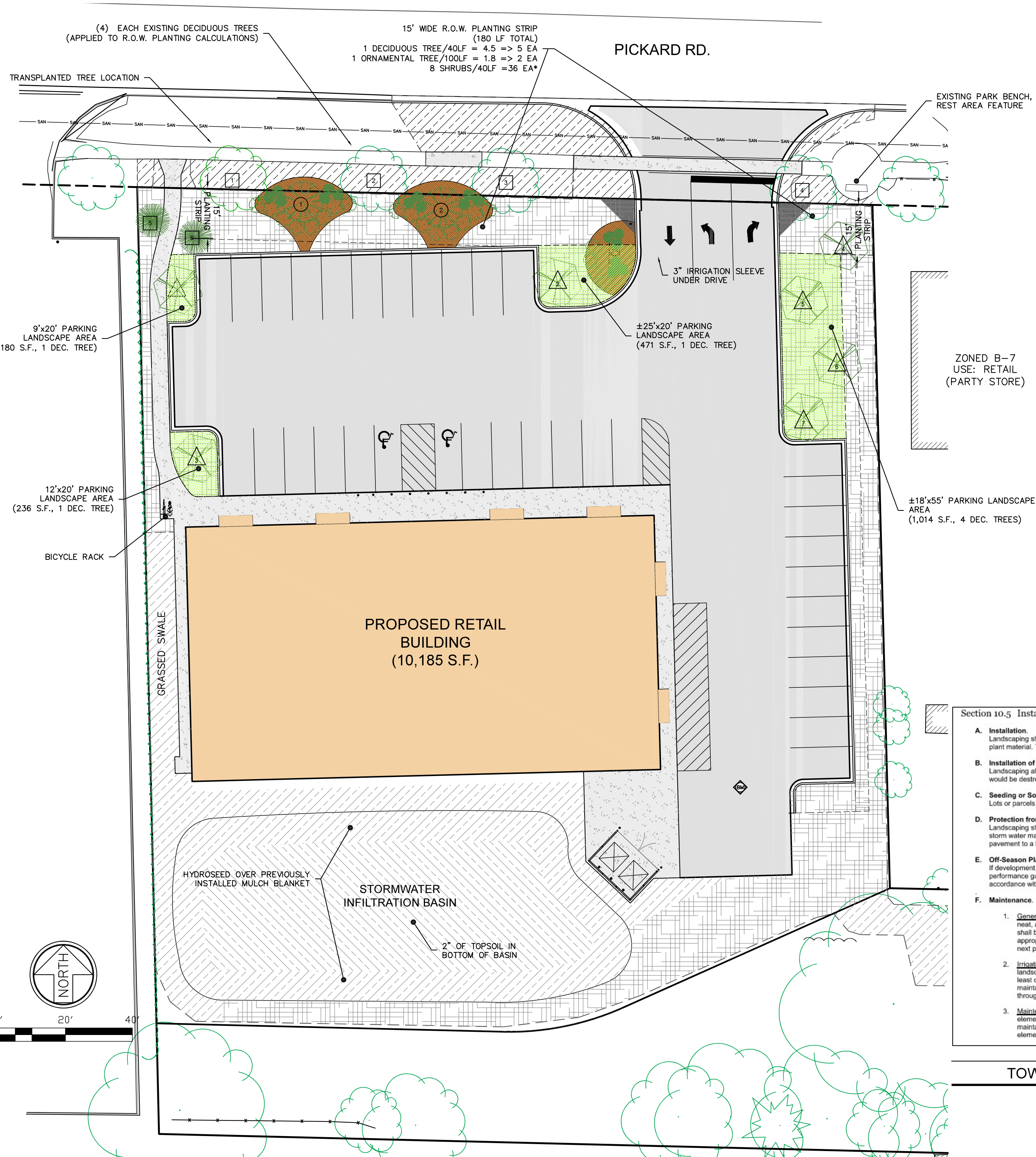


HEAVY DUTY ASPHALT DETAIL

ASPHALT PAVEMENT DETAIL



CONCRETE SIDEWALK DETAIL



Section 10.5 Installation and Maintenance

A. Installation. Landscaping shall be installed in a sound, workmanlike manner to ensure the continued growth of healthy plant material. Trees, shrubs, hedges, and vines shall be generously mulched at the time of planting.

B. Installation of Perimeter Landscaping. Landscaping along the perimeter shall be installed prior to construction, except where such landscaping would be destroyed during construction.

C. Seeding or Sodding. Lots or parcels shall be seeded or sodded within ninety (90) days after occupancy.

D. Protection from Vehicles. Landscaping shall be protected from vehicles through use of curbs or wheel stops in parking lots. Except for storm water management features such as bio-swales, landscape areas shall be elevated above the pavement to a height that is adequate to protect the plants from snow removal, salt, and other hazards.

E. Off-Season Planting Requirements. If development is completed during the off season when plants cannot be installed, the owner shall provide a performance guarantee to ensure installation of required landscaping in the next planting season, in accordance with Section 14.9.

F. Maintenance.

- General Maintenance.** Landscaping required by this Ordinance shall be maintained in a healthy, neat, and orderly appearance, free from refuse and debris. All unhealthy and dead plant material shall be replaced immediately upon notice from the Zoning Administrator, unless the season is not appropriate for planting, in which case such plant material shall be replaced at the beginning of the next planting season.
- Irrigation.** Underground irrigation of required plant material is strongly recommended. All landscaped areas shall be provided with a readily available and acceptable supply of water, with at least one spigot located within three hundred (300) feet of all plant material to be established and maintained. Trees, shrubs, and other plantings and lawn areas shall be watered regularly throughout the growing season.
- Maintenance of Manufactured Landscaping Elements.** All constructed or manufactured landscape elements, such as but not limited to benches, retaining walls, edging, and so forth, shall be maintained in good condition and neat appearance. Rotted, deteriorated, or damaged landscape elements shall be repaired, replaced, or removed.

TOWNSHIP ORDINANCE FOR MAINTENANCE

C. Plant Material Specifications.
 The following specifications shall apply to all plant material proposed in accordance with the landscaping requirements of this Ordinance:

- Deciduous Shade Trees.** Deciduous shade trees shall be a minimum of two and one-half (2.5) inches in caliper measured twelve (12) inches above grade with the first branch a minimum of four (4) feet above grade when planted.
- Deciduous Ornamental Trees.** Deciduous ornamental trees shall be a minimum of two (2) inches in caliper measured six (6) inches above grade with a minimum height of three (3) feet above grade when planted.
- Evergreen Trees.** Evergreen trees shall be a minimum of eight (8) feet in height when planted. Furthermore, evergreen trees shall have a minimum spread of two and one-half (2.5) feet, and the size of the burlapped root ball shall be at least ten (10) times the caliper measured six (6) inches above grade.
- Shrubs.** Shrubs shall be a minimum of three (3) feet in height when planted. Low growing shrubs shall have a minimum spread of twenty four (24) inches when planted.
- Hedges.** Hedges shall be planted and maintained so as to form a continuous, unbroken, visual screen within two (2) years after planting, barring unusual growing conditions, such as drought or disease. Hedges shall be a minimum of three (3) feet in height when planted.
- Ground Cover.** Ground cover used in lieu of turf grasses in whole or in part shall be planted in such a manner as to present a finished appearance and reasonably complete coverage after one (1) complete growing season.
- Grass.** Grass area shall be planted using species normally grown as permanent lawns in central Michigan. Grass, sod, and seed shall be clean and free of weeds, pests, and diseases. Grass may be sodded, plugged, sprigged or seeded. When grass is to be established by a method other than complete sodding or seeding, nurse grass seed shall be sown for immediate effect and protection until complete coverage is otherwise achieved. Straw or other mulch shall be used to protect newly seeded areas.
- Mulch.** Mulch used around trees, shrubs, and vines shall be a minimum of three (3) inches deep, and installed in a manner as to present a finished appearance.

TOWNSHIP ORDINANCE FOR MATERIALS

BOTANICAL & COMMON NAME **SIZE**

Deciduous Trees

- Acer rubrum "Red Sunset" 2.5" cal.
- Acer saccharum "Green Mountain" 2.5" cal.
- Celtis occidentalis/Hackberry 2.5" cal.
- Gleditsia t. var inermis "Skyline"/Skyline Honeylocust 2.5" cal.
- Quercus alba/White Oak 2.5" cal.
- Syringa reticulata "Ivory Silk"/Japanese Tree Lilac 2.5" cal.
- Tilia c. "Greenspire"/Littleleaf Linden 2.5" cal.

Ornamental Trees

- Amelanchier x.g. "Autumn Brilliance"/Serviceberry 2" cal.
- Crataegus "Crusgalli"/Thornless Hawthorn 2" cal.
- Malus "Royal Raindrops/Pink Flowering Crabapple 2" cal.
- Magnolia s. "Royal Star"/Star Magnolia 2" cal.
- Prunus s. "Kwanzan"/Kwanzan Flowering Cherry 2" cal.

Evergreen Trees

- Juniperus c. "Hetzii Columnaris"/Green Columnar Juniper 8' ht
- Picea abies/Norway Spruce 8' ht
- Picea glauca/White Spruce 8' ht
- Picea omorika/Serbian Spruce 8' ht
- Pinus strobus/White Pine 8' ht

Shrubs

- Juniperus h. "Broadmoor"/Low Juniper 5 gal
- Taxus "Tautoni"/Tauton Yew 5 gal
- Ilex x.m. "Blue Princess"/Blue Princess Holly 5 gal
- Ilex x.m. "Blue Prince"/Blue Prince Holly 5 gal

Min. height of 3' min. spread of 24"

PLANT LIST AND LEGEND

CONTRACTOR NOTE:
 LANDSCAPING AND IRRIGATION SHOWN ON THIS PLAN IS DERIVED BASED ON THE ZONING ORDINANCE OF CHARTER TOWNSHIP OF UNION.
 ALTERATIONS, SUBSTITUTIONS OR DEVIATIONS MUST BE TAKEN UP WITH THE TOWNSHIP PRIOR TO INSTALLATION.

LEGEND

- EXISTING ASPHALT PAVEMENT
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- HYDROSEED AND IRRIGATE (NO IRRIGATION HEADS IN R.O.W.)
- HYDROSEED WITHOUT IRRIGATION
- MULCH

GROUND COVER AND IRRIGATION AREA LEGEND

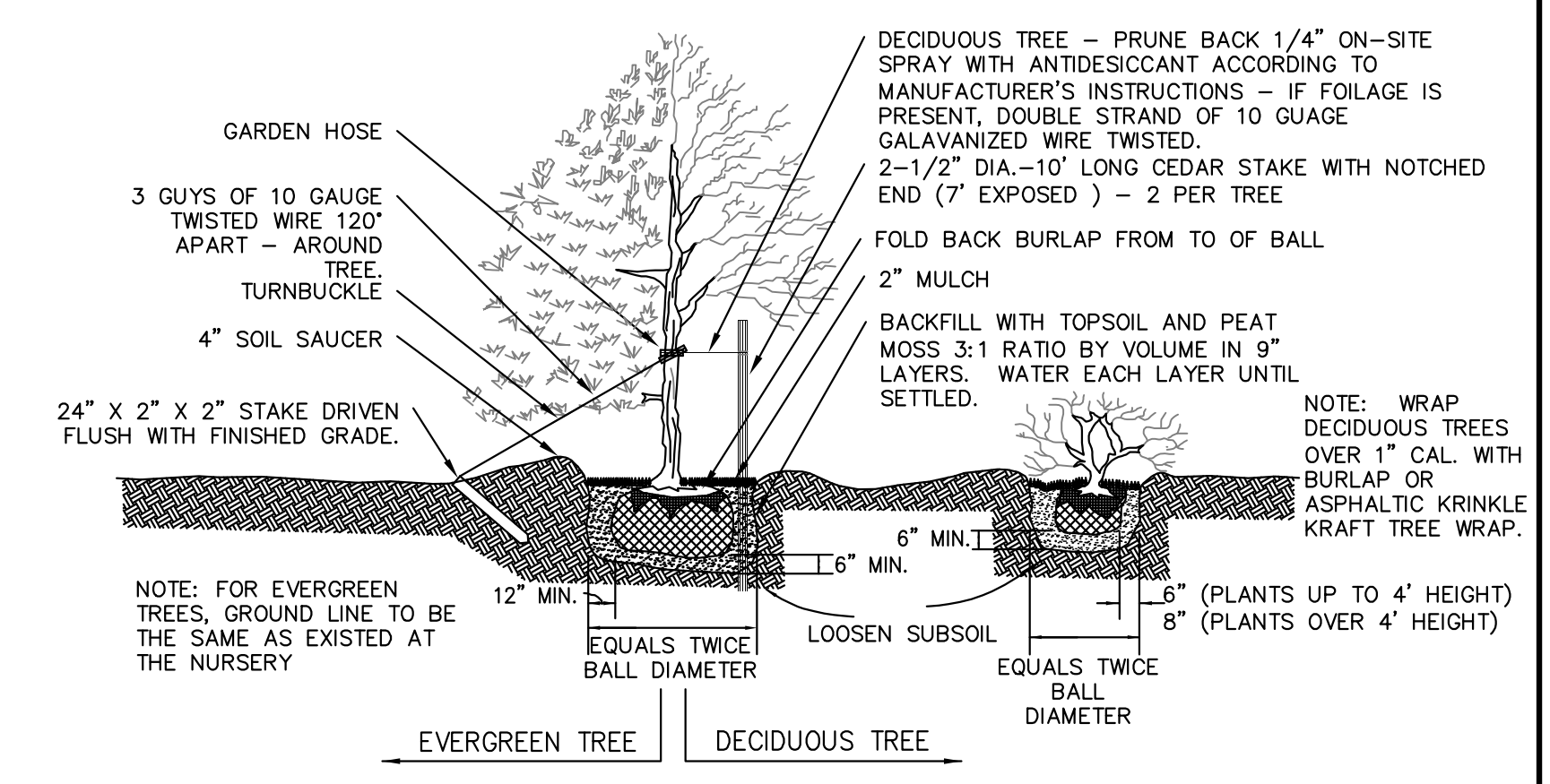
REQUIRED LANDSCAPING RATIO:
 30 SF PER PARKING SPACE
 35 PARKING SPACES = 1,050 SF (MIN)
 LANDSCAPE AREAS PROVIDED = 1,901 SF.

PARKING LOT LANDSCAPING AREA REQUIREMENTS

REQUIRED PLANTING CALCULATIONS

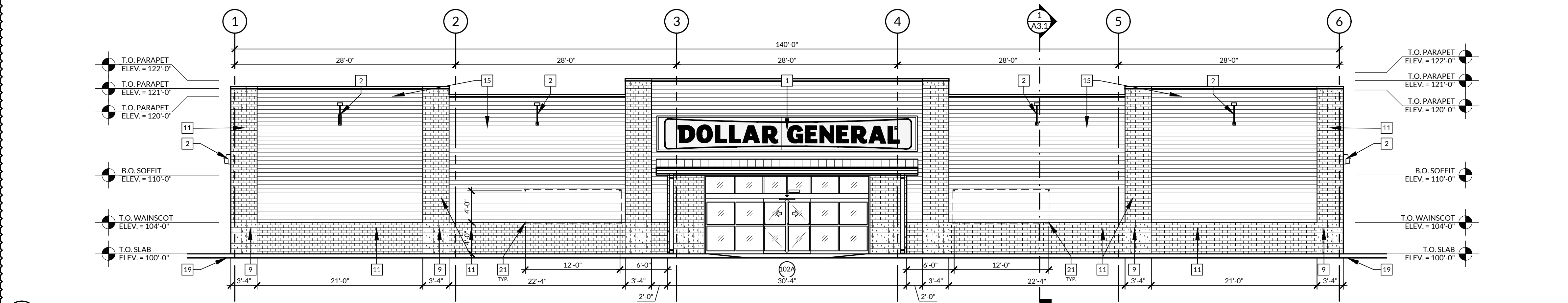
Item	Based on....	Value	Deciduous or Evergreen		Ornamental Trees		Shrubs		Shade Tree	
			Deciduous or Evergreen	Ornamental Trees	Shrubs	Shade Tree				
Front	Frontage width less Entrance width	181 ft	1 per 40 ft	5	1 per 100 ft	2	8 per 40 ft	37	N/A	
Parking Lot	Number of spaces	35 spaces	0	0	0	0	1 per 5 spaces	7	7	
Totals			5	2	37	7				

REQUIRED PLANTING CALCULATIONS

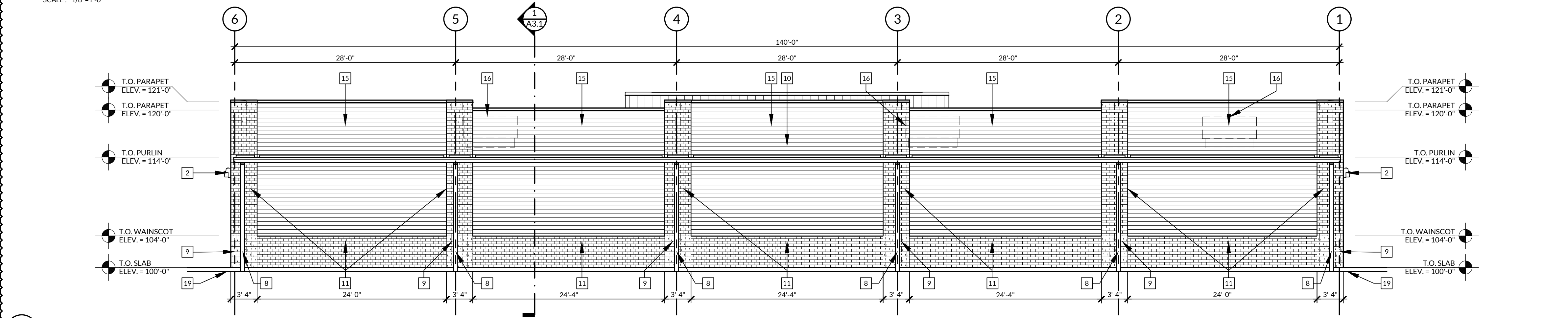


PLANTING DETAIL- TREES AND SHRUBS

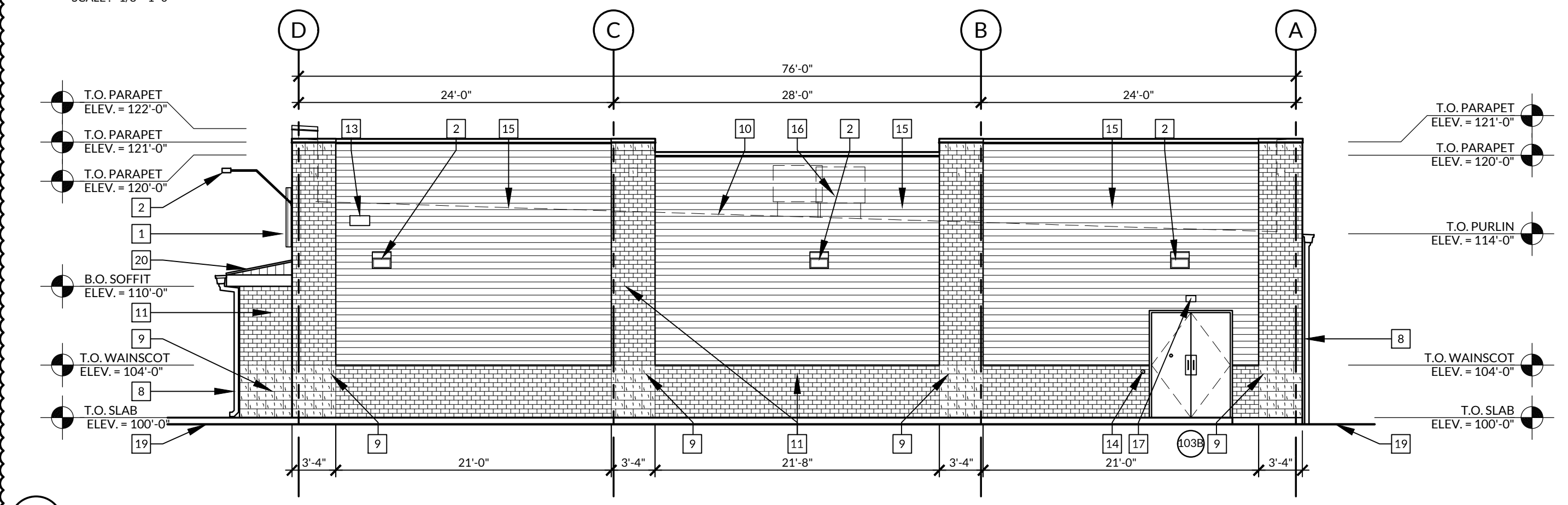
- ELEVATION KEYNOTES**
- SIGN FURNISHED & INSTALLED BY DOLLAR GENERAL CORPORATION w/ CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. COORDINATE THE PROPER SIGNAGE TO BE USED w/ DOLLAR GENERAL.
 - EXTERIOR LIGHTING. REFER TO ELECTRICAL DRAWINGS TO VERIFY EXACT QUANTITY, LOCATION, MOUNTING HEIGHT & OTHER SPECIFICATIONS.
 - NOT USED.
 - NOT USED.
 - NOT USED.
 - NOT USED.
 - NOT USED.
 - GUTTER & DOWNSPOUT. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
 - 4" SPLIT-FACE CMU. REFER TO EXTERIOR FINISH SCHEDULE FOR TYPE & COLOR.
 - STANDING SEAM METAL ROOF. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
 - 4" SMOOTH or VELOUR ECONOMY SIZE BRICK. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
 - NOT USED.
 - VENT FOR BATHROOM EXHAUST. REFER TO MECHANICAL DRAWINGS FOR EXACT LOCATION & ADDITIONAL INFORMATION.
 - DOOR BUZZER. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - NICHIIHA VINTAGEWOOD ARCHITECTURAL PANELS. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
 - HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION & LOCATIONS.
 - OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
 - MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
 - FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON-PAVED AREAS.
 - METAL CANOPY BY PRE-ENGINEERED METAL BUILDING MANUFACTURER.
 - 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) w/ 1" DIAMETER OPENINGS. DRILL & EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.



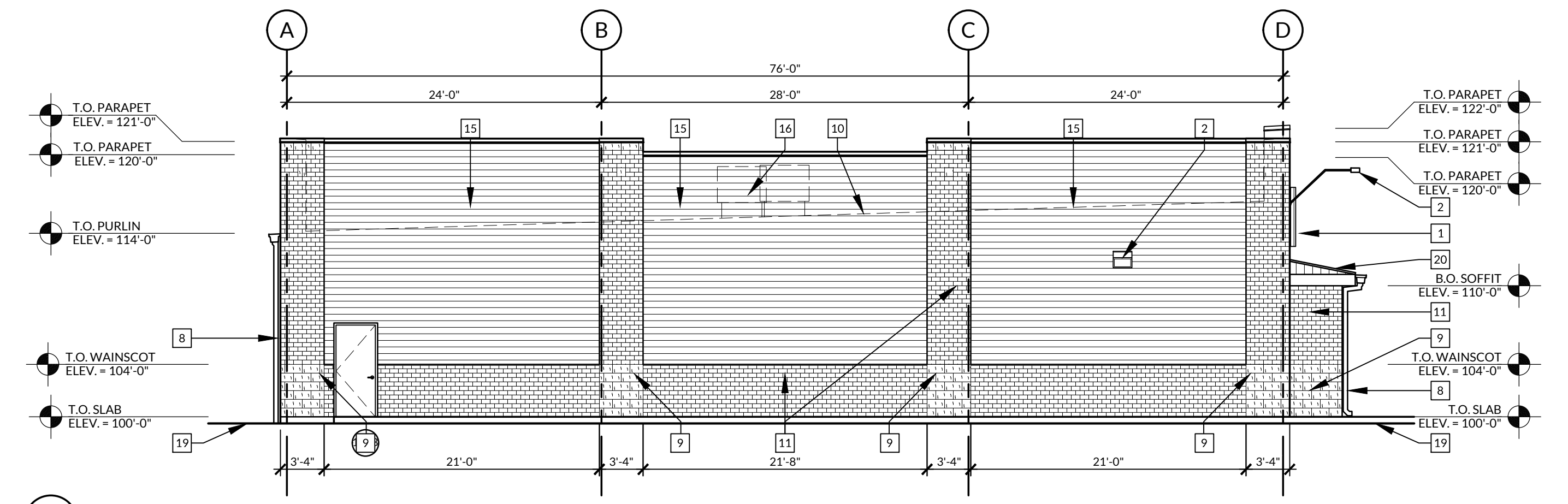
1 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

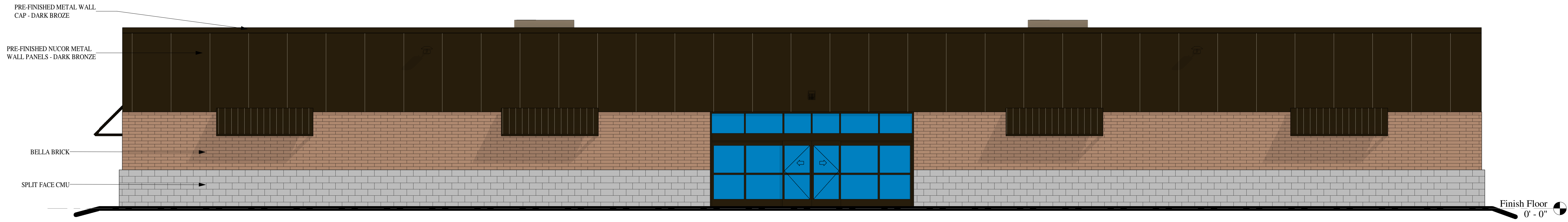


4 NORTH ELEVATION
SCALE: 1/8"=1'-0"

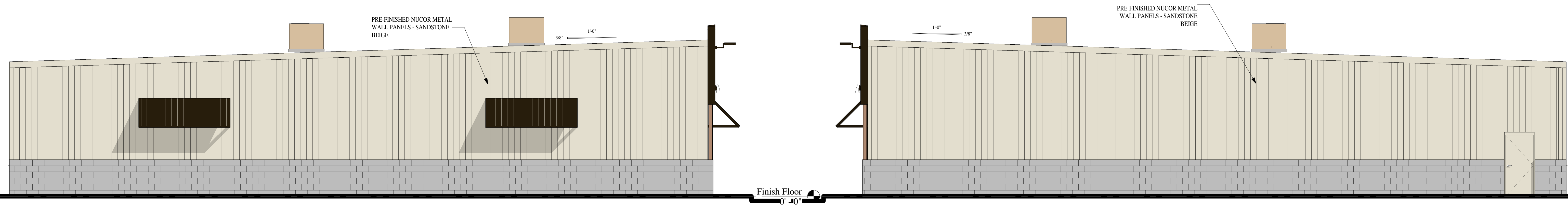
	EXTERIOR FINISH SCHEDULE																				
	VP BUILDINGS ATTN:DAVID ENGLISH (901) 568-4537		STAR BUILDING SYSTEMS ATTN:RODNEY BURT (800) 879-7827		NUCOR BUILDING SYSTEMS ATTN:BOB BARRY (315) 622-4440 - (260) 837-7891		BIGBEE STEEL BUILDINGS, INC. ATTN:KEVIN BUSLER (800) 633-3378		CHIEF BUILDINGS ATTN:KERRIN SULLIVAN (800) 845-3378		PREFERRED COLORS IF ALTERNATE EXTERIOR MATERIALS ARE USED INSTEAD OF METAL PANELS.										
	COOLEGPTIAN WHITE	COOL DARK BRONZE	BRONZE	COOL COTTON WHITE	GALVALUME	LIGHTSTONE	MEDIUM BRONZE, KYMAR 500	BRONZE	POLAR WHITE	GALVALUME	LIGHTSTONE	MEDIUM BRONZE, KYMAR 500	BRONZE	POLAR WHITE	GALVALUME	SHERWIN WILLIAMS SWANSON "ELEGANT ELEG"	SHERWIN WILLIAMS SWOOD "VAN DYKE BROWN"	BRONZE	WHITE BY PEMB MANUFACTURER	GALVALUME	
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO VP METAL BUILDING SYSTEMS FINISH SELECTION.																					
GUTTERS.		•					•					•					•				
DOWNSPOUTS.		•					•					•					•				
SIDE & REAR METAL WALL PANELS & TRIM, RECEIVING & EMERGENCY EXIT DOORS. (EXTERIOR OF DOORS TO BE PAINTED. REFER TO DOOR SCHEDULE.)		•					•					•					•				
4" SPLIT-FACE CMU																					
4" SMOOTH or VELOUR ECONOMY SIZE BRICK.																					
NICHIIHA FIBER CEMENT PANEL.																					
PLATE METAL SIGNAGE																					
BUILDING FASCIA WALL, PARAPET @ ENTRANCE, & CANOPY.		•					•					•					•				
STOREFRONT SYSTEM.		•					•					•					•				
STANDING SEAM METAL ROOF PANELS.																					
LINER PANELS (INTERIOR SALES & RECEIVING FLOOR)																					

DIRECTOR'S NOTE:

THIS IS AN EXAMPLE SET OF BUILDING ELEVATIONS FOR A DOLLAR GENERAL PROJECT IN A DIFFERENT MID-MICHIGAN TOWNSHIP, WHICH INCLUDES A CONSISTENT FACADE DESIGN AND MIX OF EXTERIOR MATERIALS ON ALL FOUR SIDES, AN AIRLOCK ENTRY, AND FULL HEIGHT PARAPET WALLS TO FULLY SCREEN THE ROOFTOP EQUIPMENT ON ALL FOUR SIDES.

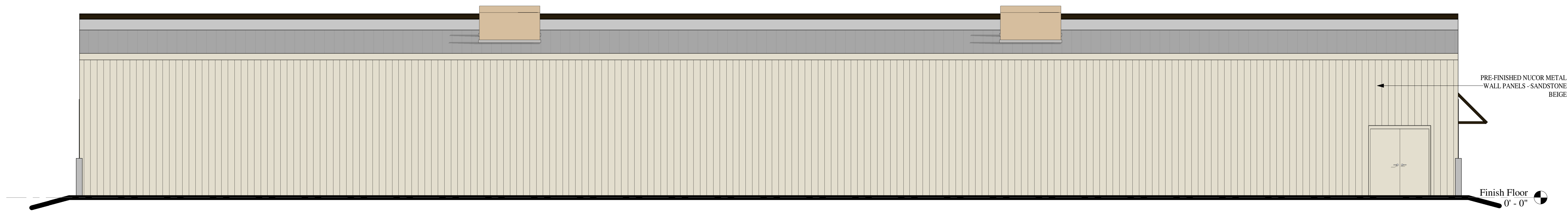


① FRONT ELEVATION
3/16" = 1'-0"



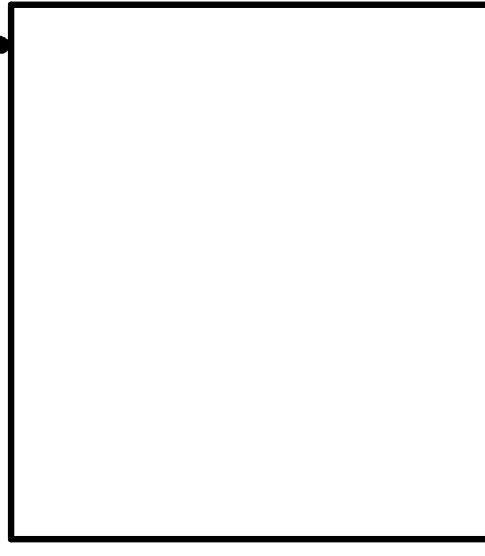
② SIDE ELEVATION RECEIVING
3/16" = 1'-0"

③ SIDE ELEVATION
3/16" = 1'-0"



④ REAR ELEVATION
3/16" = 1'-0"

PROPOSED NEW BUILDING
Mount Pleasant, MI.

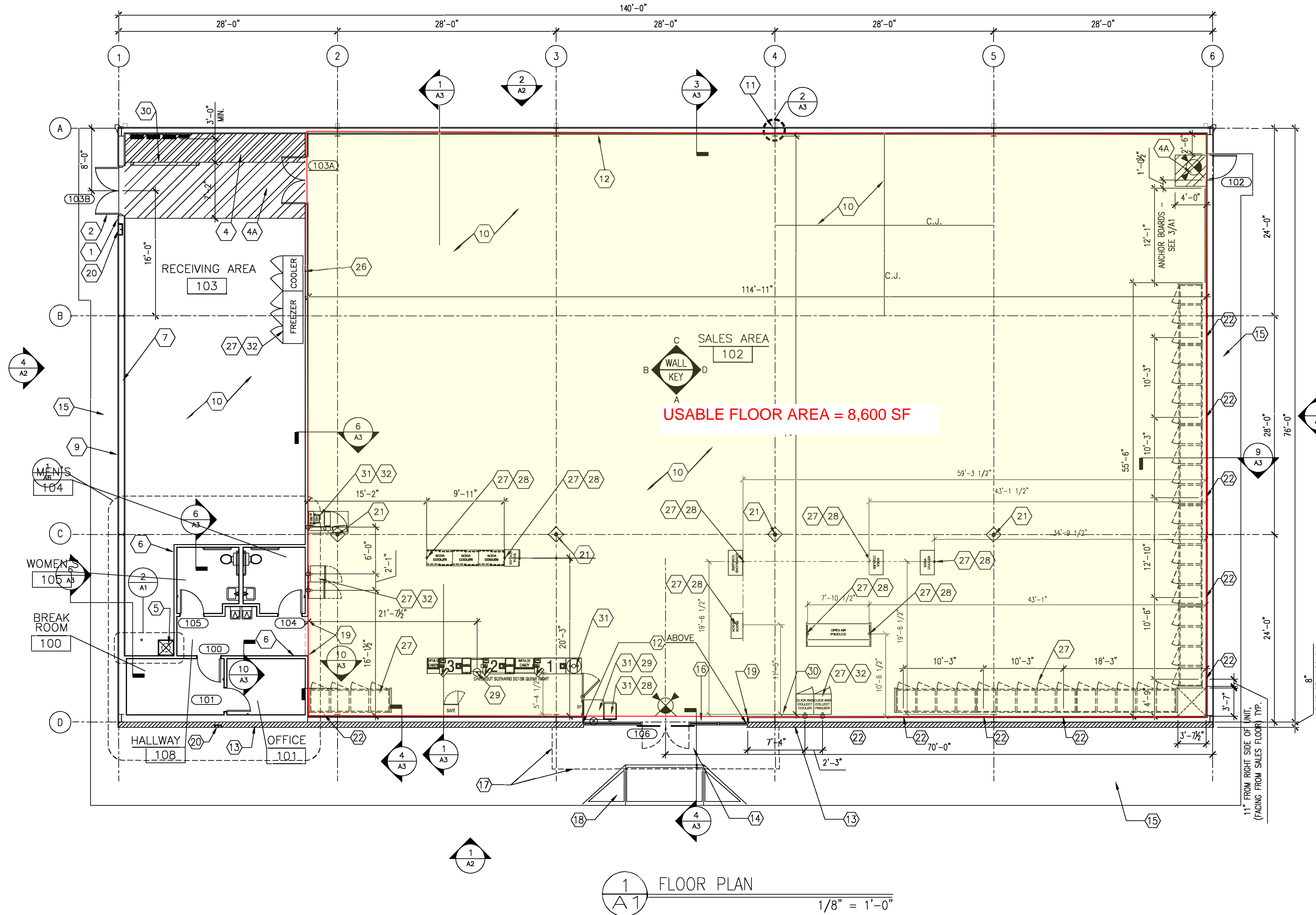


PROJECT NUMBER		
DATE:	2021.05.19	
DRAWN BY:	NTH	
CHECKED BY:	JDV	
Revision Schedule		
No.	Description	Date

Concept
Exterior Elevations

A2.0





FLOOR PLAN KEYED NOTES

- ① RECEIVING DOOR BUZZER
- ② 2" DOOR SCOPE.
- ③ NOT USED
- ④ STRIPE FLOOR FOR DESIGNATED CLEAR EGRESS PATH (PAINT YELLOW) AND DESIGNATED EMS PANEL CLEARANCE (PAINT RED).
- ④A STRIPE FLOOR FOR DESIGNATED CLEAR ADA EGRESS PATH (PAINT YELLOW.)
- ⑤ PROVIDE AND INSTALL A TEN GALLON WATER HEATER (OR LARGER IF REQUIRED BY CODE) ABOVE THE MOP SINK.
- ⑥ METAL STUD WITH 1/2" GYP. BD. SEE WALL SECTION SHEET A3.
- ⑦ METAL LINER PANELS TO 8'-0" A.F.F. (BY PRE-ENGINEERED BUILDING MANUFACTURER).
- ⑧ DIMENSIONS TO BE FROM COLUMN LINE UNLESS OTHERWISE NOTED.
- ⑨ METAL BUILDING PANELS (BY PRE-ENGINEERED BUILDING MANUFACTURER).
- ⑩ CONCRETE SLAB WITH STRUCTURAL MIN. 6x6xW1.4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MM THICK) OVER CRUSHED STONE BASE, TYPICAL, OR EQUIVALENT. PROVIDE CONTROL JOINTS AT 14'-0" ON CENTER EACH WAY MAX. SEE SHEET S3.
- ⑪ METAL BUILDING FRAME. REFER TO DETAIL 3/A3 FOR ADDITIONAL INFORMATION.
- ⑫ METAL LINER PANELS (28/29 GAUGE) WITH 1/2" GYPSUM BOARD. SEE INTERIOR ELEVATIONS ON SHEET A4. PROVIDE R-13 METAL BUILDING INSULATION.
- ⑬ 8" SPLIT FACED CMU PAINTED SW #7037 BALANCED BEIGE. ALIGN FACE OF BLOCK WITH STEEL GIRT. PROVIDE PROPER ANCHORAGE TO STRUCTURE.
- ⑭ SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
- ⑮ COORDINATE CONCRETE SIDEWALK WITH CIVIL AND BROOM FINISH, TYP.
- ⑯ BRONZE STOREFRONT SYSTEM. REFER TO SHEETS A4 AND A5 FOR ADDITIONAL INFORMATION. CONTINUE METAL LINER PANELS TO DECK.
- ⑰ LINE OF SOFFIT OR CANOPY ABOVE.
- ⑱ A.D.A. COMPLIANT H.C. RAMP WITH PAINTED SIDES TO ACCESSIBLE PARKING STALLS, REFER TO CIVIL.
- ⑲ MC CUE CART AND BUMPER GUARDS 3'-5" A.F.F., ORDER TRIMKIT FOR THIS PROTOTYPE.
- ⑳ WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- ㉑ ROUND STEEL PIPE COLUMN WITH RECESSED BASE PLATE-PAINT SECOND CONCRETE POUR SW6991 BLACK MAGIC. PAINT STEEL COLUMN SW7005 PURE WHITE. WRAP COLUMN WITH TIGHT LOOP CARPET (BLACK) 48" HIGH AT BASE.
- ㉒ WALL OUTLETS FOR BANKS OF COOLERS AND FREEZERS. SEE ELECTRICAL FOR DETAILS. OUTLETS TO BE 11" FROM RIGHT SIDE OF UNITS AS YOU FACE THEM FROM THE SALES FLOOR.
- ㉓ NOT USED.
- ㉔ NOT USED.
- ㉕ NOT USED
- ㉖ MAINTAIN 2" AIR GAP BETWEEN THE REACH IN COOLER / FREEZER AND THE WALL FOR VENTILATION
- ㉗ REFRIGERATION BY OWNER.
- ㉘ FREESTANDING COOLER/FREEZERS (INCLUDING PRODUCE COOLER AND DISPLAY LIGHTING) TO BE HARDWIRED THROUGH SO CORD. GC TO LEAVE BOTTOM OF CORD HANGING AT 80" A.F.F. (SEE ELECTRICAL). SO CORD ANCHORED TO PURLINS ABOVE. COORDINATE LOCATION WITH FINAL FIXTURE PLAN.
- ㉙ POWER POLE. COORDINATE FINAL LOCATION WITH FINAL FIXTURE PLAN (F01).
- ㉚ MC CUE RAILING IN FRONT OF ELECTRICAL PANEL. 8'-0" LONG WITH TWP TOP RAILINGS AND NO MIDDLE POST.
- ㉛ NON-REFRIGERATION EQUIPMENT (REGISTERS, HIGH KIOSK, ATM, KEYME) BY OWNER.
- ㉜ REFRIGERATION AND NON-REFRIGERATION EQUIPMENT ON WALLS TO BE POWERED THROUGH OUTLETS - SEE ELECTRICAL. COORDINATE LOCATION WITH FINAL FIXTURE PLAN.

ALTA / NSPS LAND TITLE SURVEY

Notes Corresponding to Schedule B

PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 336300LK:

9. EASEMENTS OVER SUBJECT PROPERTY AS SHOWN ON THE RECORDED PLAT. **[BLANKET IN NATURE, AFFECTS PARENT PARCEL, NOT PLOTTED]**

PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 343120LK:

10. RIGHT OF WAY FOR HIGHWAY VESTED IN STATE OF MICHIGAN BY INSTRUMENT RECORDED IN LIBER 160, PAGE 222. **[DOES NOT AFFECT PARENT PARCEL, NOT PLOTTED]**

Statement of Encroachments

- A. OVERHEAD UTILITIES CROSS THE SUBJECT PROPERTY WITHOUT THE BENEFITS OF EASEMENT.
- B. ADJOINING PROPERTY'S CONCRETE STOOP ENROACHES NORTHERLY INTO THE SUBJECT PROPERTY A MAXIMUM DISTANCE OF 2.2 FEET OVER A DISTANCE OF 4.1 FEET.

ALTA/NSPS Land Title Survey

Based Upon Title Commitment No. 336300LK
TRANSNATION TITLE COMPANY
bearing an effective date of DECEMBER 16, 2020.

Surveyor's Certification

To Midwest V, LLC, its participants, successors and assigns; TRANSNATION TITLE COMPANY; and Old Republic National Title Insurance Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes items 1, 2, 3, 4, 5(a), 5(b), 7(b)(1), 7(b)(2), 7(c), 8, 9, 10(a), 13, 14, and 17 of Table A thereof. The field work was completed on February 12, 2021.

02/15/21
Date of Plat or Map



Matthew T. Mokanyk
Matthew T. Mokanyk, P.S., P.E.
Michigan P.S. No. 42063

Legal Description of Record

PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 336300LK:

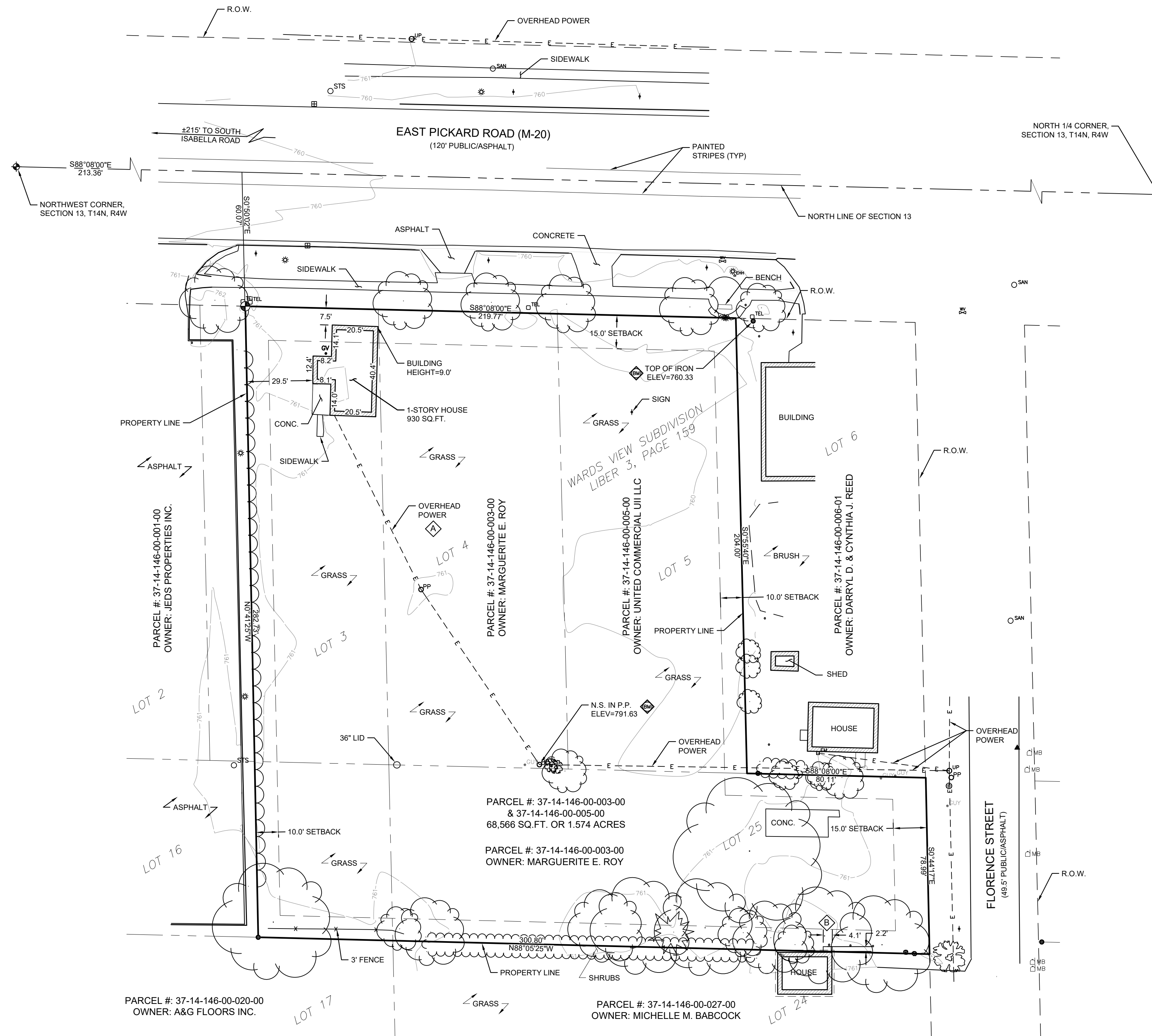
ALL OF LOT 25, ALSO LOT 4 EXCEPT THE EAST 20 FEET THEREOF; AND THE EAST 58.77 FEET OF LOT 3 AND THE EAST 58.77 FEET OF LOT 16, ALL IN THE PLAT OF WARDS VIEW SUBDIVISION, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

PROPERTY DESCRIBED IN SCHEDULE 'A' OF TRANSNATION TITLE COMPANY TITLE COMMITMENT NO. 343120LK:

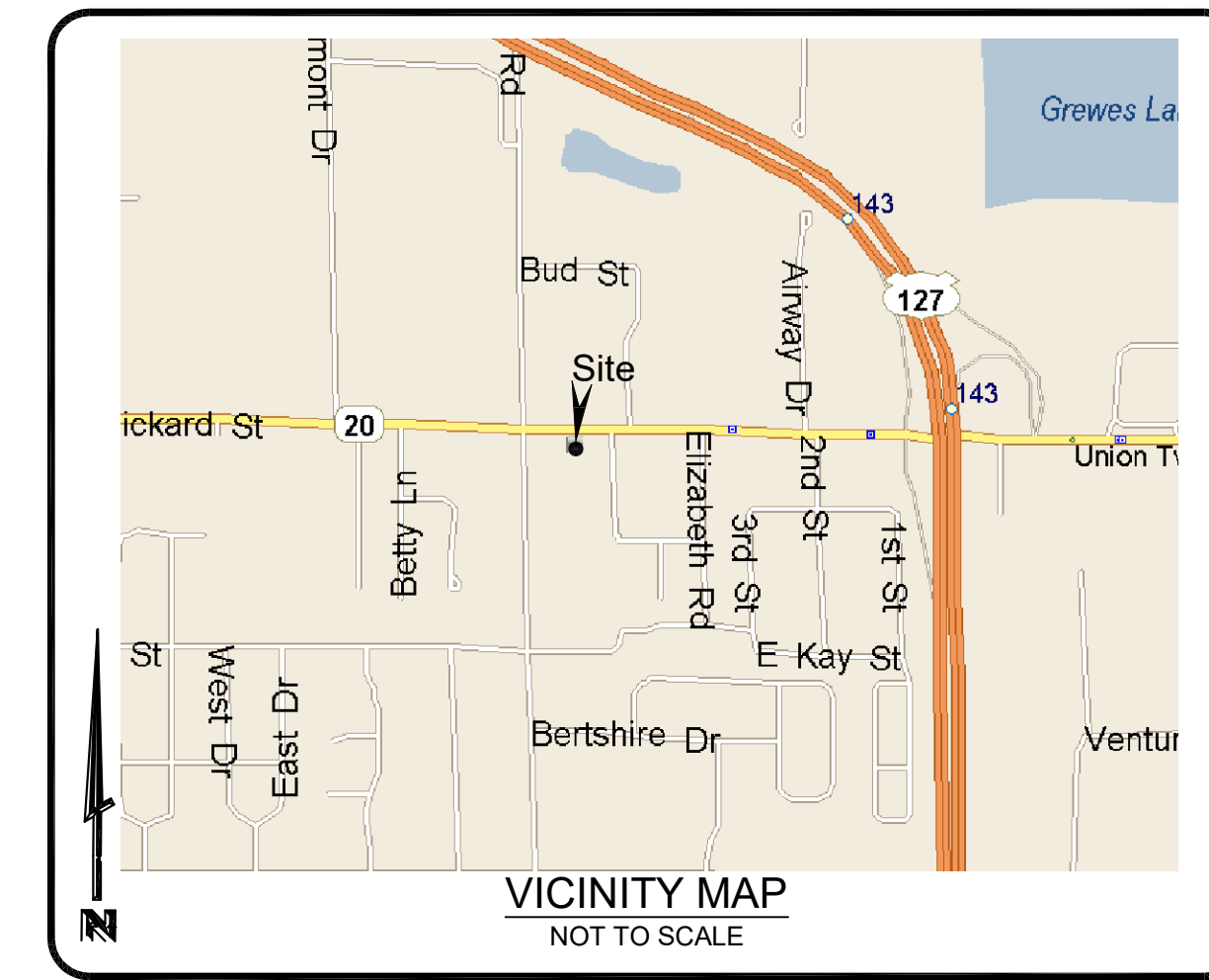
LOT 5 AND THE EAST 20 FEET OF LOT 4 OF WARDS' VIEW SUBDIVISION, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.

FLOOD NOTE:

By graphic plotting only, this property is in Zone(s) XC of the Flood Insurance Rate Map, Community Panel No. 26073C0330D, which bears an effective date of 02/05/14 and is NOT in a Special Flood Hazard Area.



NOTE: FIELD WORK WAS PERFORMED DURING WINTER. SNOW COVERAGE MAY HAVE PRECLUDED THE OBSERVATION AND LOCATION OF CERTAIN SITE FEATURES.



Legend of Symbols & Abbreviations

- PP--- POWER POLE
- GUY--- GUY
- * LIGHT POLE
- EM ELECTRIC TRANSFORMER
- EM ELECTRIC METER
- EHH ELECTRIC HANDHOLE
- WV WATER VALVE
- HYDRANT
- GM GAS METER
- GM GAS MARKER
- GM GAS VALVE
- TP TELEPHONE PEDESTAL
- SP SIGN POST
- FL FENCE LINE
- BM BENCHMARK
- IF IRON FOUND
- IS IRON SET
- PN P.K. NAIL FOUND
- PN P.K. NAIL SET
- GM GPS MONUMENT
- MB MONUMENT BOX FOUND
- MF MONUMENT FOUND
- MS MONUMENT SET
- (R) RECORD
- (M) MEASURED
- ST STORM MANHOLE
- CB CATCH BASIN
- SB SQUARE CATCH BASIN
- SM SANITARY MANHOLE
- SC SANITARY CLEAN-OUT
- MW MONITOR WELL
- TM TELCO. MANHOLE

Surveyor's Notes

SUBJECT PROPERTY HAS DIRECT PEDESTRIAN AND VEHICULAR ACCESS TO EAST PICKARD ROAD (M-20) (PUBLIC) A DULY DEDICATED AND ACCEPTED PUBLIC STREET OR HIGHWAY AS SHOWN HEREON.

ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.

BEARING BASIS: MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD 83.

ELEVATIONS OF THIS SURVEY ARE BASED ON NAVD 88.

NO CEMETERIES, GRAVESITES, OR BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED ON THE SURVEYED PROPERTY AT TIME OF SURVEY.

SURVEYOR IS NOT AWARE OF ANY CURRENT OR FUTURE RIGHT OF WAY CHANGES.

NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS WERE OBSERVED AT TIME OF SURVEY.

5048 EAST PICKARD ROAD, ADDRESS OBSERVED AT TIME OF SURVEY.

NO WETLAND FLAGS WERE OBSERVED AT TIME OF SURVEY.

NO EVIDENCE OF RECENT EARTHWORK OR CONSTRUCTION WAS OBSERVED AT TIME OF SURVEY.

SURVEYOR OBSERVED NO EVIDENCE OF ACTIVE DRILLING OR PRODUCTION OF MINERALS OF ANY KIND AT TIME OF SURVEY.

Site Information

ZONING CONTACT:
CHARTER TOWNSHIP OF UNION
(989) 772-4600 PHONE
2010 SOUTH LINCOLN,
MT. PLEASANT, MI 48858

TAX ID NO.: 37-14-146-00-003-00

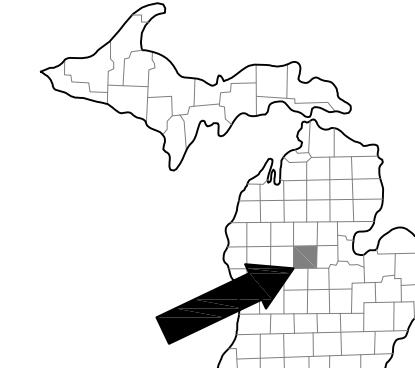
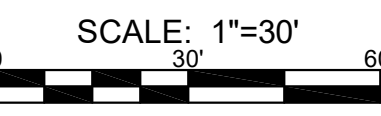
SUBJECT SITE ZONING: B-7, RETAIL AND SERVICE HIGHWAY BUSINESS & R2-B, 1 & 2 FAMILY MEDIUM RESIDENTIAL

SUBJECT SITE AREA: 1.105 ACRES OR 48,141 SQ. FT.

PARKING REQUIREMENTS: 1 SPACE PER 150 S.F. OF USABLE AREA EXISTING PARKING:
NO PARKING OBSERVED AT TIME OF SURVEY

SETBACKS:
FRONT: 15' REAR: 10' SIDE: 10'

SOURCE OF ZONING INFORMATION:
SITE INFORMATION REPORT PREPARED BY CLIENT
(NO DATE PROVIDED)



ALL UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS AND AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATION NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.

PLANS PREPARED BY:



DRAWN BY: CEL CHECKED BY: MTM

CEL MTM

SUBMITTALS

REV	DATE	BY	DESCRIPTION
0	02/15/21	CEL	PRELIMINARY DRAWING
1	03/18/21	CEL	REVISIONS

CLIENT

MIDWEST V, LLC

THIS DRAWING HAS BEEN PREPARED BY LANDTECH PROFESSIONAL SURVEYING & ENGINEERING, LLC. ALL PATENTED AND PATENTABLE FEATURES AND/OR CONFIDENTIAL INFORMATION AND ITS USE IS CONDITIONED UPON THE USER'S AGREEMENT NOT TO REPRODUCE THE DRAWING, IN WHOLE OR IN PART, NOR THE MATERIAL DESCRIBED THERE ON, NOR TO USE THE DRAWING FOR ANY PURPOSE OTHER THAN AS SPECIFICALLY PERMITTED IN WRITING BY LANDTECH PROFESSIONAL SURVEYING & ENGINEERING, LLC.



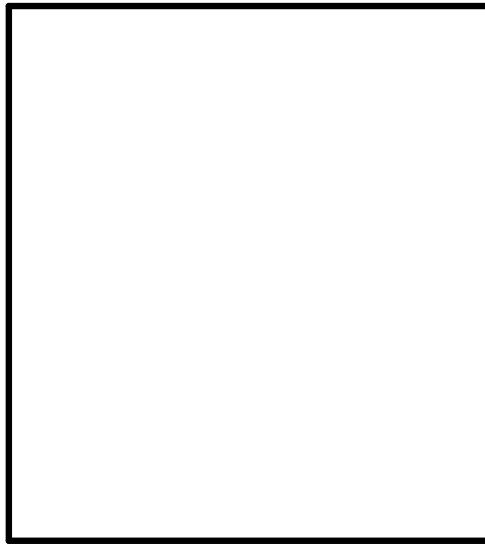
SHEET TITLE

ALTA SURVEY

SHEET NUMBER JOB NO.

S-1 21466001

PROPOSED NEW BUILDING
 Mt Pleasant, MI.



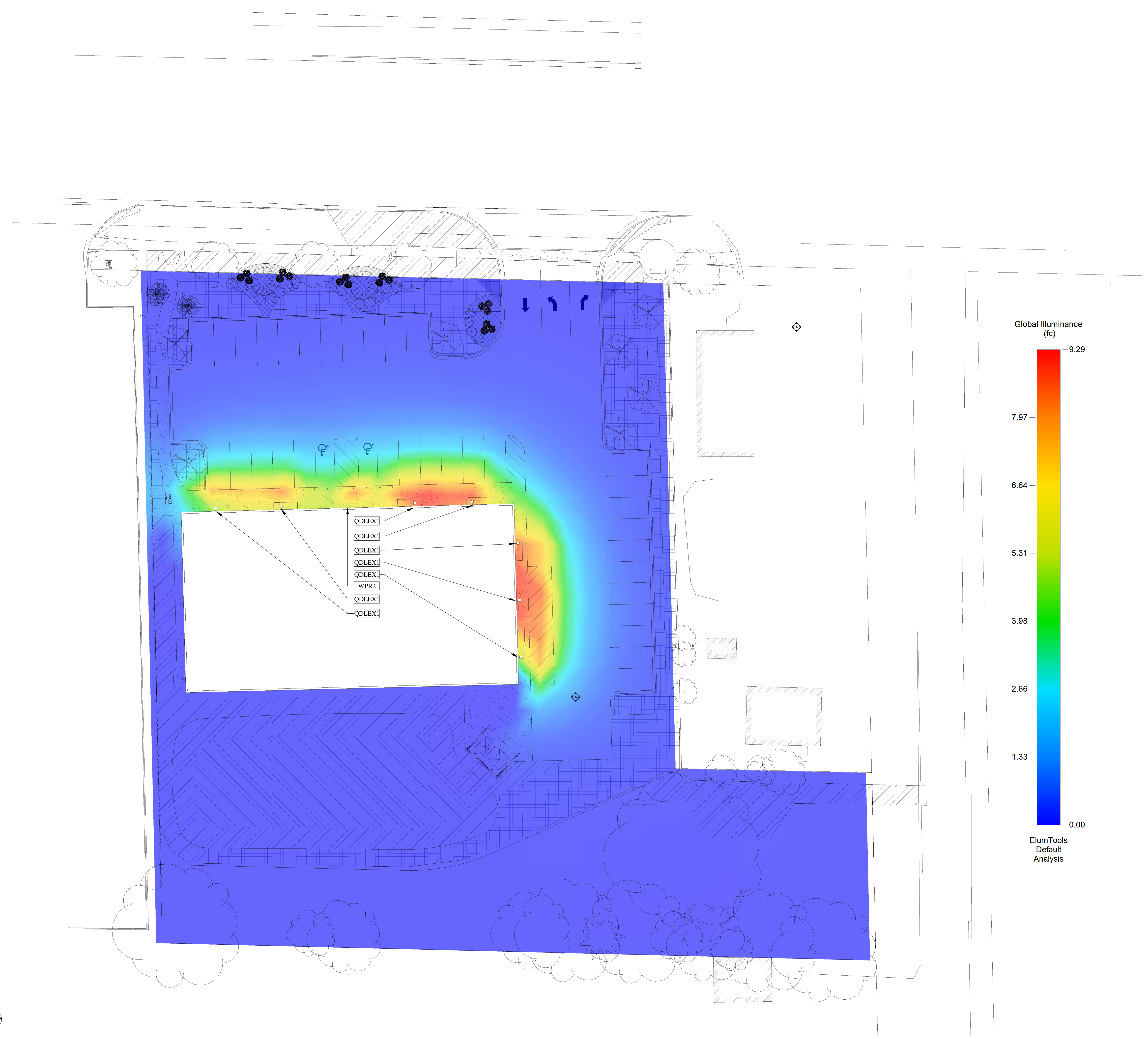
PROJECT NUMBER	XXXXX
DATE:	2021.05.21
DRAWN BY:	NTH
CHECKED BY:	JDV

Revision Schedule		
No.	Description	Date

Conceptual

Photometric Spatial Map

E 401



① Site Photometric Spacial Map
 1" = 20'-0"

COMBINED PRELIMINARY – FINAL SITE PLAN REPORT

TO:	Planning Commission	DATE:	June 7, 2021
FROM:	Rodney C. Nanney, AICP Community and Economic Development Director	ZONING:	B-7, Retail and Service Highway Business District
PROJECT:	PSPR 21-13 Preliminary Site Plan Application for a new Dollar General retail store.		
PARCELS:	PID 14-146-00-003-00 & -005-00		
OWNERS:	Marguerite Roy and United Commercial UII LLC; Midwest V LLC authorized by both parties to submit the site plan application		
LOCATION:	Approximately 1.574 acres on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the NW 1/4 of Section 13.		
EXISTING USE:	Existing dwelling and vacant	ADJACENT ZONING:	R-2B (One- and Two-Family, Medium Density Residential District) and B-7 (Retail and Service Highway Business District).
FUTURE LAND USE DESIGNATION: <u>Retail/Service</u> . This district is intended for the widest variety of retail and service businesses. They could range from apparel shops, auto service, and restaurants through small commercial strip centers and office buildings. This district is not intended for heavy commercial/light industrial uses like landscaping or contractor yards, heavy auto repair, or similar uses that may require some form of outside storage. Locations for this district are based on arterial road frontage and the need for high traffic volumes with convenient, well managed access.			
ACTION REQUESTED: To review the PSPR 21-13 combined preliminary and final site plan dated May 21, 2021 for a new Dollar General retail business located on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the NW 1/4 of Section 13 and in the B-7 (Retail and Service Highway Business) District.			

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary and final site plan approvals are required for this project. Per Section 14.2.J., preliminary site plan approval by the Planning Commission “shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.” Planning Commission approval of a final site plan “constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Site Plan Review Comments

The following comments are based on the standards for preliminary and final site plan approval and specific elements of the proposed site plan:

- Section 14.2.P. (Required Site Plan Information).** The site plan does not meet the minimum Section 14.2.P. information requirements for a combined preliminary and final site plan. The following details will need to be addressed on a revised site plan:

Missing Preliminary Site Plan Information	
Add a detailed use statement describing proposed use(s); including land or building areas for each use, number of units, number of anticipated employees, or other applicable information to verify Ordinance compliance. The “retail business” note is insufficient.	<input type="checkbox"/>
Add existing zoning classifications for the parcels on the east side of Florence St.	<input type="checkbox"/>
Add the owners’ names, existing uses, and location of structures, drives, and improvements on the parcels on the north side of E. Pickard Rd. and on the east side of Florence St.	<input type="checkbox"/>
Add the location(s) of planned building-mounted signage to the building elevations.	<input type="checkbox"/>
Add dimensions of all property boundaries and interior lot lines to the site plan sheet.	<input type="checkbox"/>
Add location(s), area(s), purpose(s) and dimensions of any outdoor sales, display or storage areas, or add a note to the site plan to confirm that none are proposed for this project.	<input type="checkbox"/>

- Section 8 (Environmental Performance Standards).** The applicant failed to provide documentation to confirm compliance with this Section. The following detail is needed:
 - Complete the Hazardous Substances Reporting Form. If no hazardous substances are expected to be used, stored or generated on-site, check “None” on the form.
- Section 3.6. – Dimensional Standards.** The proposed building conforms to the 35-foot maximum height requirement, and the yard setback dimensions depicted on the site plan conform to the minimum requirements of the B-7 District. However, the following setback encroachments will need to be addressed by the applicant on a revised site plan:
 - Remove the small curbing encroachment into the required front yard setback.
- Section 7.10 (Sidewalks and Pathways).** The applicant has proposed to provide a new internal sidewalk connection into the site to the public building entrance. The following sidewalk details will need to be addressed by the applicant on the final site plan submittal:
 - Confirm that the proposed internal sidewalk is at least five (5) feet in width by adding a dimension to the site plan.
 - Confirm with a note on the site plan that the internal sidewalk access will be maintained year-round, including winter snowplowing (the East DDA District provides winter maintenance of the public sidewalks along E. Pickard Rd.).
- Section 9 (Parking, Loading, and Access Management).** The parking calculations and arrangement of proposed vehicular parking and loading facilities on the site plan generally conforms to the requirements of Section 9. The following detail will need to be addressed by the applicant on the final site plan submittal:

- Add a dotted line rectangle with a length dimension to show the bicycle parking area, and show the required minimum 3.0-foot setback between this area and the five-foot wide sidewalk per Section 9.1.C.5. (Bicycle Parking).
- Depict the planned snow storage area(s) on the revised site plan.

6. **Building Form and Composition.** The subject land is located within the East Downtown Development Authority (DDA) District. Through the Economic Development Authority Board, which oversees the DDA District, the Township has invested over \$9 Million in public improvements, infrastructure upgrades, and corridor beautification since 1993. The East DDA manages the public sidewalks, park benches, and trash receptacles (including regular maintenance, seasonal clean-up, and sidewalk snowplowing); the decorative streetlights; and a system of underground irrigation within the E. Pickard Rd. right-of-way. The East DDA also funds annual flower and banner displays, lawncare along the road margins, and holiday lighting. All of this is done for the purpose of fostering a more consistent, dynamic, and upmarket visual character for the District, which in turn helps to support a vibrant and resilient business community along the M-20 corridor.

Business and property owners along the corridor have responded to these improvements over the years by undertaking numerous private improvements, large and small, to older sites along the corridor. It is essential for new development in the East DDA District to be consistent in supporting the economic health of the District through building form and composition that is consistent with the District's emphasis on a dynamic and upmarket visual character. It is also essential that building design reflects the fact that a significant portion of the commercial corridor in the East DDA District directly abuts existing residential neighborhoods. What the sides and rear of this building look like and how the building relates to surrounding residences is just as important as the visual character of the front façade. In addition, there are HVAC equipment screening standards that apply.

For these reasons, the following building-related details will need to be addressed by the applicant on a revised site plan:

- Revise the building design to:
 - Provide parapet walls on all four sides of the building, with sufficient height to fully screen the rooftop HVAC equipment.
 - Remove the awnings that appear to serve no purpose and provide no actual benefit to customers accessing the site.
 - Establish a consistent mix of exterior façade materials on all four sides of the building to create a dynamic visual character that is better aligned with the high level of public and private investment in this corridor.
- For the comfort and convenience of staff and customers, revise the north-facing public entrance to establish a more prominent "airlock" style entranceway.

An example set of building elevations is attached from a Dollar General project in another mid-Michigan township for the Planning Commission's reference and to provide guidance to the applicant for preparation of revised site plan materials.

7. **Section 8.2. - Exterior Lighting.** The exterior lighting information is adequate for preliminary site plan approval, but does not satisfy the requirements for a final site plan. In addition, the proposed exterior fixtures depicted on the color rendering are remarkably utilitarian and inconsistent with the dynamic visual character of the East DDA District. The following details will need to be addressed by the applicant on a revised site plan:
- Add the manufacturer’s specifications and a picture or drawing of each fixture type to the photometric plan, along with a fixture schedule.
 - Replace the proposed fixtures with designs that will help to create a dynamic visual character that is better aligned with the high level of public and private investment in this corridor, and that do not include adjustable brackets or wall-pack tilt features which would violate Section 8.2 standards.
 - For adequate safety along the recommends that the internal sidewalk and bicycle parking area need to be properly illuminated. This would appear to include the necessity of providing at least one freestanding pole fixture.
8. **Section 10. – Landscaping and Screening.** The landscaping and screening details provided on sheets C5.1 and L1.0 are sufficient for preliminary site plan approval, but do not satisfy the requirements for a final site plan. Adequate screening is needed to minimize headlight glare and other impacts on nearby residences. In addition, the proposed fenced trash enclosure design depicted on sheet C5.1 is maintenance-intensive and too easily damaged by garbage trucks. The following landscaping and screening details will need to be addressed by the applicant on a revised site plan:
- Add the missing schedule of plantings to identify the details for each existing and proposed tree or shrub as numbered on sheet L1.0.
 - Add the missing groundcover and stormwater infiltration basin seed mix details.
 - Replace the quoted Township ordinance information on sheet L1.0 with a specific installation plan and a specific landscape maintenance plan for this site that are both consistent with Section 10.5 requirements.
 - Add details for weed barrier and edging of mulched areas to prevent weed growth and encroachments that have been maintenance issues on other Dollar General sites.
 - Add necessary screening improvements to the east of the parking lot and loading area to prevent off-site headlight glare impacts on the residences to the east and to properly screen the loading area.
 - Add an evergreen screen or greenbelt plantings around the southeast and south sides of the parking lot, loading area, and trash enclosure per Section 10.2.E. standards to provide adequate screening for the adjacent residential area to the south. Planting locations should be coordinated with anticipated snow storage areas to prevent damage and conflicts.
 - Replace the proposed privacy fence-style trash enclosure with a decorative masonry enclosure coordinated with the building façade materials.

9. **Outside agency approvals.** The applicant is responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. To date, the Zoning Administrator has received documentation only from MDOT and the Isabella County Transportation Commission. Approvals are still needed from the Mt. Pleasant Fire Department, Township Public Services Department, and Storm Water approval from the Isabella County Drain office.
- ❑ Copies of all outside agency permits and approval letters will need to be submitted to Peter Gallinat, Zoning Administrator as part of the revised site plan submittal.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

The site plan as presented does not fully conform to the minimum Section 14.2.P. information requirements for a combined preliminary and final site plan submittal, but is sufficiently complete for consideration as a preliminary site plan. With the exception of details that could be addressed on a revised final site plan, the site plan as presented conforms to the standards for preliminary site plan approval found in Section 14.2.S. (Standards for Site Plan Approval).

Recommendations

Based on the above findings, I would have no objection to a Planning Commission action to grant preliminary site plan approval only for the PSPR 21-13 Dollar General site plan dated May 21, 2021, subject to the following conditions:

1. Provide all items of application, site plan, and outside agency approval documentation required per Section 14.2. as part of the revised final site plan submittal.
2. Revise the sidewalk, parking, building, screening, exterior lighting, and landscaping details on the site plan as necessary for compliance with Township ordinance requirements.

Please contact me at (989) 772-4600 ext. 232, or via email at rnanney@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Rodney C. Nanney, AICP

Community and Economic Development Director

Draft Motions: PSPR 21-13 Dollar General Combined Preliminary - Final Site Plan Review Application

MOTION TO APPROVE ONLY THE PRELIMINARY SITE PLAN WITH CONDITIONS:

Motion by _____, supported by _____, to approve only the PSPR 21-13 preliminary site plan for a new Dollar General retail store on parcel numbers 14-146-00-003-00 & -005-00, located on approximately 1.574 acres on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the northwest quarter of Section 13 and in the and in the B-7 (Retail and Service Highway Business) zoning district, finding that the May 21, 2021 site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Provide all items of application, site plan, and outside agency approval documentation required per Section 14.2. as part of the revised final site plan submittal.
2. Revise the sidewalk, parking, building, screening, exterior lighting, and landscaping details on the site plan as necessary for compliance with Township ordinance requirements.
3. Township Public Services Department approval of the revised final site plan.
4. Submittal of an updated final site plan for Planning Commission review and approval.

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 21-13 preliminary site plan for a new Dollar General retail store on parcel numbers 14-146-00-003-00 & -005-00 until _____, 2021 for the following reasons: _____

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 21-13 preliminary site plan for a new Dollar General retail store on parcel numbers 14-146-00-003-00 & -005-00, located on approximately 1.574 acres on the south side of E. Pickard Rd. (M-20) east of S. Isabella Rd. in the northwest quarter of Section 13 and in the and in the B-7 (Retail and Service Highway Business) zoning district, finding that the May 21, 2021 site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan Information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

Charter Township of Union

APPLICATION FOR SITE PLAN REVIEW

Minor Site Plan Preliminary Site Plan Final Site Plan

A Completed Application will contain all the information required per the Zoning Ordinance, Section 14.2 (Site Plan Review).

Name of Proposed Development/Project	Summerhill Village Community Center/ Sales office		
Common Description of Property & Address (if issued)	5280 Mission Road Mount Pleasant, MI 48858		
Applicant's Name(s)	Schrock Homes Inc. DBA Schrock Commercial		
Phone/Fax numbers	574-533-1148/574-533-5818	Email	fred@schrockcommercial.com
Address	2523 Messick Drive	City:	Goshen, IN Zip: 46526

Legal Description:	<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Included on Site Plan	Tax Parcel ID Number(s):	14-034-20-001-00
Existing Zoning:	Land Acreage:	81.066	Existing Use(s):	Mobil Home Community
<input checked="" type="checkbox"/>	ATTACHED: Letter describing the project and how it conforms to Section 14.2.5. (Standards for Site Plan Approval)			

Firm(s) or Individuals(s) who prepared site plan(s)	1. Name:	Schrock Commercial	Phone:		Email	
	2. Address:	2523 Messick Drive				
	City:	Goshen	State:	IN	Zip:	46526
	Contact Person:	Fred Ham	Phone	574-349-5517		
Legal Owner(s) of Property. All persons having legal interest in the property must sign this application. Attach a separate sheet if more space is needed.	1. Name:	The Four Leaf Companies	Phone:	708-781-1030		
	Address:	600 W. 22nd Street Suite 101				
	City:	Oak Brook	State:	IL	Zip:	60523
	Signature:		Interest in Property:	owner/lessee/other		
	2. Name:		Phone:			
	Address:		City:	State:	MI	Zip:
	Signature:		Interest in Property:	owner/lessee/other		

I do hereby affirm that all the statements, signatures, descriptions, exhibits submitted on or with this application are true and accurate to the best of my knowledge and that I am authorized to file this application and act on behalf of all the owners of the property. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and/or removal of work installed. Approval of this plan shall not constitute the right to violate any provisions of the Zoning Ordinance or other applicable codes and ordinances.

Mike Colledge
Signature of Applicant

5/18/21
Date

Office Use Only

Application Received By: _____ Fee Paid: \$ 650.00

Date Received: _____ Escrow Deposit Paid: \$ _____

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business:

SUMMERHILL VILLAGE

Name of business owner(s):

PLEASANT RIDGE PARTNERS LLC

Street and mailing address:

5280 MISSION ROAD

MOUNT PLEASANT, MI 48858

Telephone:

708-781-1030

Fax:

Email:

MCALLAGHAN@FOURLEAFPROP.COM

I affirm that the information submitted is accurate.

Owner(s) signature and date:


Mike Callaghan

Information compiled by:

MIKE CALLAGHAN

Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

COMMON NAME	CHEMICAL NAME (components)	FORM	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
 NONE	KEY: LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas			KEY: AGT = above ground tank DM = drums UGT = underground tank Cy = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank

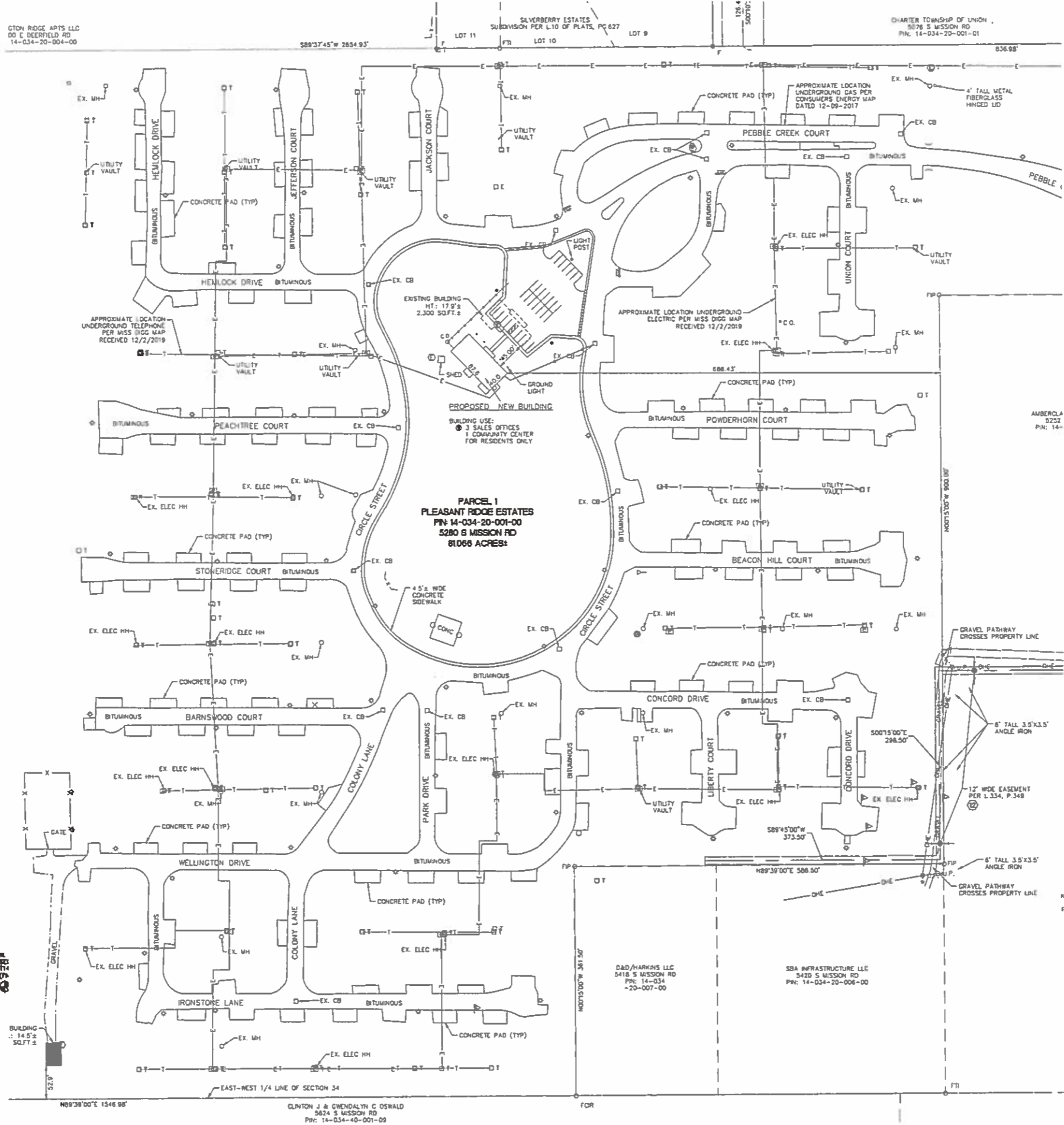


VICINITY MAP
NOT TO SCALE

LEGEND

- SECTION CORNER
- FOUND MONUMENT
- FOUND IRON PIPE
- FOUND CAPPED IRON ROD
- FOUND T-HIGH
- FOUND IRON ROD
- SET CAPPED IRON ROD
- DISTING TELEPHONE RISER
- DISTING LIGHTPOLE
- DISTING UTILITY POLE
- DISTING WATER BOX
- DISTING FIRE HYDRANT WITH SHUT OFF
- DISTING MANHOLE/CATCH BASIN
- DISTING ELECTRIC TRANSFORMER
- DISTING CULVERT
- DISTING ELECTRIC RISER
- DISTING SANITARY CLEAN OUT
- DISTING ELECTRIC METER
- DISTING AIR CONDITIONING UNIT
- DISTING SIGN
- DISTING GUY ANCHOR
- DISTING MAILBOX
- DISTING GROUND LIGHT
- DISTING WELL
- DISTING GAS METER
- DISTING FLAG POLE
- UNDERGROUND ELECTRIC MARKER
- UNDERGROUND TELEPHONE MARKER
- UNDERGROUND GAS MARKER
- POINT OF COMMENCEMENT
- PLACE OF BEGINNING
- BOUNDARY LINE
- BOUNDARY ADJACENT LINE
- EASEMENT LINE
- SECTION LINE
- OVERHEAD UTILITY LINE
- APPROXIMATE UNDERGROUND ELECTRIC LINE
- APPROXIMATE UNDERGROUND TELEPHONE LINE
- APPROXIMATE UNDERGROUND GAS LINE
- APPROXIMATE UNDERGROUND STORM LINE
- APPROXIMATE UNDERGROUND SANITARY LINE
- APPROXIMATE UNDERGROUND WATER LINE
- DISTING FENCE
- SCHEDULE B PART II EXCEPTION
- DISTING BUILDING

- NOTES:**
- BEARINGS ARE BASED ON THE EAST LINE OF SECTION 34, BEING S00°15'00"E, PER TITLE COMMITMENT REFERENCED HEREON.
 - THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO MAP NUMBERS 2807300300D & 2807300320D OF THE FLOOD INSURANCE RATE MAP, EFFECTIVE DATE FEBRUARY 5, 2014.
 - WATER MAIN, STORM SEWER, SANITARY SEWER AND FRANCHISE UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE. UTILITY AND AS-BUILT MAPS HAVE BEEN REQUESTED AND SOME MAPS HAVE BEEN RECEIVED AT DATE OF THIS SURVEY. FRANCHISE UTILITY MAPS HAVE BEEN REQUESTED FROM THE APPROPRIATE FRANCHISE COMPANIES, BUT NOT ALL MAPS HAVE BEEN RECEIVED AT DATE OF SURVEY.
NOTE: THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED.
NOTE TO THE CLIENT, INSURER, AND LENDER - SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.I.V. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAN OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION AND/OR A PRIVATE UTILITY LOCATE REQUEST MAY BE NECESSARY.
 - ZONING LETTER OR REPORT NOT PROVIDED AT THE DATE OF THE SURVEY.
 - EXISTING CLUBHOUSE AREA HAS 7 TRADITIONAL PARKING STALLS AND 2 HANDICAPPED ACCESSIBLE STALLS. FOR EVERY TWO HOME PAD SITES, THERE APPEARS TO BE APPROXIMATELY 4 AVAILABLE PARKING SPACES.
 - ALL INTERIOR ROADS ON SUBJECT PROPERTY APPEAR TO BE PRIVATE ROADS.
 - NO PARTY WALLS WERE DESIGNATED BY THE CLIENT OR OBSERVED AT THE DATE OF THE FIELD WORK.
 - DATE OF AERIAL IMAGE ON SHEET 3 IS 09/21/2015.



- SCHEDULE A DESCRIPTION PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ISSUING AGENT: MT. PLEASANT ABSTRACT & TITLE, COMMITMENT NUMBER: 489063, COMMITMENT DATE: NOVEMBER 08, 2019:**
- THE LAND IS DESCRIBED AS FOLLOWS:
- PARCEL 1:** PART OF THE NORTHEAST 1/4 OF SECTION 34, T14N, R4W, DESCRIBED AS COMMENCING SOUTH 0°15' EAST, 995.50 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 34; THENCE SOUTH 89°37'45" WEST, 2854.93 FEET TO THE NORTH-SOUTH 1/4 LINE; THENCE SOUTH 0°25' EAST, 1658.30 FEET ALONG SAID 1/4 LINE TO THE CENTER OF SECTION 34; THENCE NORTH 89°59' EAST, 1548.08 FEET ALONG THE 1/4 LINE; THENCE NORTH 0°15' WEST, 361.5 FEET; THENCE NORTH 89°39' EAST, 586.5 FEET; THENCE NORTH 0°15' WEST, 900 FEET; THENCE NORTH 89°39' EAST, 528 FEET TO THE EAST SECTION LINE; THENCE NORTH 0°15' WEST, 397.74 FEET TO THE POINT OF BEGINNING, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.
- PARCEL 2:** AN EASEMENT FOR FUTURE ROADWAY 86 FEET WIDE DESCRIBED AS 33 FEET EACH SIDE OF A LINE DESCRIBED AS COMMENCING SOUTH 89°37' WEST, 705.67 FEET FROM THE NORTHEAST CORNER OF SECTION 34, T14N, R4W, THENCE SOUTH 0°10'28" EAST, 198.44 FEET; THENCE ALONG A CURVE TO THE RIGHT OF RADIUS 900 FEET AND CHORD OF SOUTH 10°07'33" WEST, 321.85 FEET; THENCE SOUTH 20°25'34" WEST, 42.35 FEET; THENCE ALONG A CURVE TO THE LEFT OF RADIUS 900 FEET AND CHORD OF SOUTH 10°07'33" WEST, 321.85 FEET; THENCE SOUTH 0°10'28" EAST, 128.44 FEET ENDING AT A POINT SOUTH 0°15' EAST, 995.50 FEET AND SOUTH 89°37'45" WEST 836.98 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 34, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.
- SCHEDULE B, PART II EXCEPTIONS PER ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, ISSUING AGENT: MT. PLEASANT ABSTRACT & TITLE, COMMITMENT NUMBER: 489063, COMMITMENT DATE: NOVEMBER 08, 2019:**
- EASEMENT IN FAVOR OF CONSUMERS POWER COMPANY FOR THE PURPOSE OF TRANSMITTING ELECTRICITY AND/OR CONDUCTING A COMMUNICATIONS BUSINESS OVER AND ACROSS CAPTIONED LAND DATED APRIL 30, 1970 AND RECORDED IN LIBER 347, PAGE 165. RESPONSE: COVERS SUBJECT PROPERTY AND LAND TO NORTH, APPEARS TO BE A BLANKET EASEMENT.
 - EASEMENT 12 FEET WIDE DESCRIBED AS 6 FEET ON EACH SIDE OF A LINE DESCRIBED AS COMMENCING AT A POINT 5/4 CORNER OF SECTION 34, T14N, R4W, THENCE WEST 484 FEET, SOUTH 298.50 FEET, WEST 673.36 FEET TO A POINT 807.5 FEET WEST AND 367.5 FEET NORTH OF SAID 1/4 CORNER AS GRANTED IN WARRANTY DEED TO ADJACENT PROPERTY OWNER RECORDED MARCH 31, 1969 IN LIBER 334, PAGE 349. RESPONSE: COVERS LAND ADJACENT TO SUBJECT PROPERTY, EASEMENT AS SHOWN HEREOF.
 - EASEMENT ALONG THE EASTERN BOUNDARY LINE IN FAVOR OF ISABELLA COUNTY DRAIN COMMISSION FOR THE PURPOSE OF CONSTRUCTING AND MAINTAINING A DRAIN DATED NOVEMBER 14, 1990 AND RECORDED IN LIBER 738, PAGE 401. RESPONSE: COVERS SUBJECT PROPERTY, APPROXIMATE LOCATION OF EASEMENTS AS SHOWN HEREOF.
 - EASEMENT OR RIGHT OF WAY FOR ACCESS TO PROPERTY OVER PART OF CAPTIONED LAND DATED JUNE 22, 2005 AND RECORDED JULY 1, 2005 IN LIBER 1300, PAGE 342 WHICH IS SUBJECT TO A MEMORANDUM OF ASSIGNMENT RECORDED OCTOBER 9, 2012 IN LIBER 1607, PAGE 718. RESPONSE: L1300, PG.342 EXHIBIT A COVERS SUBJECT PROPERTY, PORTIONS OF EXHIBIT B DESCRIPTIONS ARE ILLEGIBLE, POSSIBLE LOCATION AS SHOWN HEREOF. L1607, PG.718 EXHIBIT A COVERS LAND ADJACENT TO SUBJECT PROPERTY, SCHEDULE B-1 REFERENCES L1300, PG.342-348 AND L1300, PG.404-2, SCHEDULE B-2 EASEMENT COVERS SUBJECT PROPERTY, EASEMENT 2 COVERS LAND ADJACENT TO SUBJECT PROPERTY, BENEFITED PARCEL COVERS LAND ADJACENT TO SUBJECT PROPERTY.
 - EASEMENT FOR HIGHWAY PURPOSED ALONG US ROUTE 27 AS SET FORTH IN A RELEASE OF RIGHT OF WAY IN FAVOR OF STATE, HIGHWAY COMMISSION, DATED JULY 1, 1929 AND RECORDED IN LIBER 151, PAGE 394. RESPONSE: AS SHOWN HEREOF.
 - EASEMENT GRANTED TO CONSUMERS ENERGY COMPANY OVER PART OF CAPTIONED LAND DATED DECEMBER 14, 2006 AND RECORDED FEBRUARY 12, 2007 IN LIBER 1383, PAGE 73. RESPONSE: COVERS SUBJECT PROPERTY, EASEMENT AS SHOWN HEREOF.
 - MATTERS AS DISCLOSED BY SURVEY PREPARED BY SOUTHERN MICHIGAN LAND SURVEYING DATED JULY 2, 2009 AS JOB NUMBER B-031 DEPICTING THE FOLLOWING:
A) ENCROACHMENT OF THE FENCE ONTO THE WEST LINE OF THE LAND.
B) RIGHTS OF THE PUBLIC IN AND TO THAT PART OF THE LAND LOCATED WITHIN THE DRIVEWAY ALONG MISSION ROAD. RESPONSE: COVERS SUBJECT PROPERTY.
 - RIGHTS OF THE PUBLIC UTILITIES OR EQUAL PUBLIC UTILITIES AS DISCLOSED BY SURVEY PREPARED BY SOUTHERN MICHIGAN LAND SURVEYING DATED JULY 2, 2009 AS JOB NUMBER 09.031 DEPICTING THE FOLLOWING: POWER POLES, TELEPHONE RISER, SANITARY MANHOLES, STORMS CATCH BASINS, STORM MANHOLES, WATER VALVES AND LINES. RESPONSE: ATWELL HAS FIELD LOCATED AND DEPICTED ON THIS SURVEY ALL OBSERVED POWER POLES, TELEPHONE RISERS, SANITARY MANHOLES, STORM CATCH BASINS, STORM MANHOLES AND WATER STRUCTURES ON THE SUBJECT PROPERTY.
 - EASEMENT OVER PART OF CAPTIONED LAND AS DISCLOSED IN A DOCUMENT DATED DECEMBER 1, 2009 AND RECORDED APRIL 19, 2010 IN LIBER 1514, PAGE 753. RESPONSE: COVERS SUBJECT PROPERTY, NO REFERENCED EASEMENT LOCATION DRAWING ATTACHED TO DOCUMENT, EASEMENT IS TO BE LOCATED 5 FEET ON EITHER SIDE OF SYSTEM AS ACTUALLY BUILT.

SCHROCK
2523 Messick Drive
Goshen, Indiana 46526
TEL: (574) 533-1148
SCHROCKCOMMERCIAL.COM

PROPERTY OWNER:
FOUR LEAF COMPANIES
600 W 22ND ST
OAK BROOKE, IL 60523
708-781-1030
MIKE CALLAGHAN@FOURLEAFPROP.COM

PROJECT INFORMATION: 202118
SUMMERHILL VILLAGE
5280 MISSION RD
MOUNT PLEASANT, MI 48858

REVISIONS:
05-19-2021
05-25-2021

SCALE:
1" = 80'

SHEET TITLE:
SITE PLAN

SHEET:
C1.0

PRELIMINARY SITE PLAN REPORT

TO:	Planning Commission	DATE:	June 4, 2021
FROM:	Peter Gallinat, Zoning Administrator	ZONING:	R-4 Mobile Home Park District
PROJECT:	PSPR21-14 Preliminary Site Plan Approval application for the Summerhill Village Mobile Home Park – New Clubhouse and Parking Lot Improvements		
PARCEL(S):	PID 14-034-20-001-00		
OWNER(S):	The Four-Leaf Companies		
LOCATION:	Approximately 81.066 acres located at 5280 S. Mission Road in the NE1/4 of Section 34.		
EXISTING USE:	Mobile home park office	ADJACENT ZONING:	AG, B-4, R-3A, and R-2B
FUTURE LAND USE DESIGNATION:	<i>Residential Attached:</i> This land use category covers a variety of attached dwelling units and includes areas planned for both medium- and high-density residential development including duplexes, attached condominiums, townhomes, and flats.		
ACTION REQUESTED:	To review and take action to approve, deny, or approve with conditions the PSPR21-14 preliminary site plan dated May 25, 2021 for new clubhouse and parking lot improvements located at 5280 S. Mission Road in the NE1/4 of Section 34 and in the R-4 (Mobile Home Park) zoning district.		

Site Plan Approval Process

Per Section 14.2.C. of the Zoning Ordinance, both preliminary site plan approval and final site plan approval are required for this project. Per Section 14.2.J., approval of a preliminary site plan by the Planning Commission “*shall indicate its general acceptance of the proposed layout of buildings, streets, drives, parking areas, and other facilities and areas.*” Planning Commission approval of a final site plan “*constitutes the final zoning approval for the project and allows for issuance of a building permit to begin site work or construction, provided all other construction and engineering requirements have been met*” (Section 14.2.L.). Documentation of applicable outside agency permits and approvals will be required as part of a final site plan application.

Background Information

In 2019, the Four Leaf Companies purchased the former Pleasant Ridge Mobile Home Park. In addition to renaming it Summerhill Village, the new owners have undertaken an extensive program of renovation, modernization, and improvements to this older housing development. Although much more work is planned, the results have already been significant in terms of the park’s appearance and upgraded quality and character of homes brought into the development.

This project involves demolition and replacement of the park's office and clubhouse, which is subject to site plan approval.

Nonconforming Site

The project's location is part of an existing mobile housing park originally developed before the current site development standards were established. As such, it is subject to the provisions of Section 12.5 (Nonconforming Sites). This Section encourages improvements to existing nonconforming sites in the Township without a complete upgrade of all site elements by first prioritizing improvements to correct public safety deficiencies (Section 12.5.B.), and second by establishing a menu of ten (10) other categories of potential improvements and requiring a minimum of three (3) of these improvements to be addressed on the site plan (Section 12.5.C.). Finally, the Section includes a statement that a nonconforming site shall not be improved or modified in a manner that increases its nonconformity.

The following findings and determinations were identified by staff following a review of the 5/25/2021 site plan for consistency with the provisions of Section 12.5:

1. **Correction of public safety deficiencies.** Improvements are proposed to off-street parking and access through the site that partially satisfy Section 12.5.B. requirements. The following details need to be addressed on a revised site plan to verify full compliance with this subsection:
 - Provide details on the site plan and building plan to demonstrate barrier-free access from the parking lot to the building entrance.
 - Identify the barrier free parking spaces on the revised site plan and add dimensions and details for the required signage and striping.
 - Reduce the driveway width at each side of the parking lot to a maximum of 30 feet.

2. **Scope of additional improvements.** To satisfy Section 12.5.C., the site plan needs to show improvements in at least three (3) categories from the list in this subsection. Staff noted improvements in the following category: *(5) Off-street parking or loading improvements*. The following details need to be addressed by the applicant on a revised site plan to show improvements in at least two (2) categories to verify full compliance with this subsection:
 - The project could show improvements under the category of *(3) vehicle access or circulation improvements* by adjusting the east circle drive to align with and create a 90-degree four-way intersection with the west end of Pebble Creek Ct. Doing so would improve safety for residents and visitors.
 - The project could show improvements under the category of *(4) building design or exterior façade improvements*, provided that floor plans and elevation drawings of the new building are added to the revised site plan set.
 - The project could show improvements under the category of *(6) landscaping improvements*, provided that details for new landscaping and related site beautification measures associated with the new clubhouse construction are added

to the revised site plan set. New tree and shrub plantings will need to conform to the minimum size standards listed in Section 10.4 (Standards for Landscape Materials).

- The project could show improvements under the category of (8) exterior lighting improvements, provided that the manufacturer’s specifications and a picture or drawing of proposed new freestanding pole and building-mounted fixtures are added to the revised site plan, along with photometric plan information to confirm compliance with Section 8.2 (Exterior Lighting) of the Zoning Ordinance

Preliminary Site Plan Review Comments

The following comments are based on the standards for preliminary site plan approval and specific elements of the proposed site plan:

1. **Section 14.2.P. (Required Site Plan Information).** The following items of required information are missing, but the site plan is sufficiently complete for Planning Commission review and action. The following details will need to be addressed by the applicant as part of the final site plan submittal:

Missing Preliminary Site Plan Information	
Add an existing conditions sheet or aerial photo showing the existing building and parking layout.	<input type="checkbox"/>
Adjust the scale from 1:80 to no greater than 1:50 as required per Section 14.2.P.	<input type="checkbox"/>
Add a site plan detail sheet to focus on the clubhouse, parking, and adjacent street (the immediate area of the development activity).	<input type="checkbox"/>
Add a note confirming the R-4, Mobile Home Park District zoning classification on the plan.	<input type="checkbox"/>
Add a floor plan and building elevation drawings for office/clubhouse, with dimensions.	<input type="checkbox"/>
Add the width of the east and west access drives to and from the clubhouse, and indicate if it is planned for one-way or two-way access.	<input type="checkbox"/>

2. **Section 8 (Environmental Performance Standards).** The following details will need to be addressed by the applicant as part of the final site plan submittal:

- Application includes the hazardous substance reporting form but is missing the EGLE permit checklist form included in the application materials. This completed forms will be required as part of the final site plan submittal.

3. **Section 9 (Off-Street Parking).** The revised parking lot layout can conform to the applicable parking requirements of Zoning Ordinance, provided that the following details are addressed by the applicant as part of the final site plan submittal:

- Parking appears to have been increased from 7 spots on existing site to 34 with proposed new building and parking. The dimensions of these spots muse be shown on plan. The width must be at least nine (9) feet and the length at least 18.5 feet.
- Staff recommends that provisions for bicycle parking (existing or proposed) be added to the revised site plan consistent with Section 9.1.C.5. of the Zoning Ordinance.

4. **Section 7.10 (Sidewalks and Pathways).** There is an existing paved pathway along S. Mission Road. No further sidewalk installation is required at this time.
5. **Consistency with the Master Plan.** The new office/clubhouse use is consistent with the Master Plan.
6. **Consistency with Mobile Home Park standards.** The new office/clubhouse use is consistent with the applicable standards of the R-4 District listed in Section 3.12 (R-4, Mobile Home Park District).

Additional Comments for Preparation of the Final Site Plan

7. **Final site plan information requirements.** The applicant is reminded to follow the checklist of required information for preparation of the revised final site plan for this project, as specified in Section 14.2.P. of the Zoning Ordinance (and included in the application materials).
8. **Outside agency approvals.** Per Section 14.2.S. (Standards for Site Plan Approval), the applicant is responsible for obtaining all necessary permits or approvals from applicable outside agencies, prior to final site plan approval. These include the Mt. Pleasant Fire Department, Isabella County Transportation Commission, the Township Public Services Department, and Storm Water approval from the Isabella County Drain office.

Objective

The Planning Commission shall review the application materials and site plan, together with any reports and recommendations. The Planning Commission shall identify and evaluate all relevant factors and shall then take action by motion to approve the site plan, to approve the site plan with conditions, to deny the site plan application, or to postpone further consideration of the site plan to a date certain in accordance with Section 14.2.H. of the Zoning Ordinance.

Key Findings

1. Some additional details are needed to confirm that the scope of proposed improvements is fully consistent with the provisions of Section 12.5 (Nonconforming Sites).
2. The site plan is missing several items of required preliminary site plan information but is sufficiently complete for Planning Commission review.
3. If updated consistent with the details noted in this report, the preliminary site plan can fully conform to Section 14.2.P. (Required Site Plan Information).
4. The project is consistent with the Master Plan, and with the Zoning Ordinance's Mobile Home Park standards.

Recommendations

Based on the above findings, I would ask that the Planning Commission consider taking action to approve preliminary site plan PSPR21-14, subject to the following conditions:

1. Add details to the revised site plan for planned *vehicle access or circulation* improvements, *building design or exterior façade* improvements, *landscaping* improvements, and/or *exterior lighting* improvements as determined best by the applicant to confirm compliance with Section 12.5 (Nonconforming Sites).
2. Provide the missing items of required application and site plan information as part of the final site plan submittal per Section 14.2.P. (Required Site Plan Information).

Please contact me at (989) 772-4600 ext. 241, or via email at pgallinat@uniontownshipmi.com, with any questions about this information.

Respectfully submitted,

Peter Gallinat, Zoning Administrator

Community and Economic Development Department

Draft Motions: PSPR 21-14 Summerhill Village Mobile Home Park – New Clubhouse and Parking Lot Improvements – Preliminary Site Plan Review Application

MOTION TO APPROVE:

Motion by _____, supported by _____, to approve the PSPR 21-14 preliminary site plan from The Four-Leaf Companies for the Summerhill Village Mobile Home Park – New Clubhouse and Parking Lot Improvements located at 5280 S. Mission Road in the northeast quarter of Section 34 and in the R-4 (Mobile Home Park) zoning district, finding that the May 25, 2021 site plan fully complies with the applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval).

MOTION TO APPROVE WITH CONDITIONS:

Motion by _____, supported by _____, to approve the PSPR 21-14 preliminary site plan from The Four-Leaf Companies for the Summerhill Village Mobile Home Park – New Clubhouse and Parking Lot Improvements located at 5280 S. Mission Road in the northeast quarter of Section 34 and in the R-4 (Mobile Home Park) zoning district, finding that the May 25, 2021 site plan can comply with applicable Zoning Ordinance requirements for preliminary site plan approval, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), subject to the following condition(s):

1. Add details to the revised site plan for planned *vehicle access or circulation* improvements, *building design or exterior façade* improvements, *landscaping* improvements, and/or *exterior lighting* improvements as determined best by the applicant to confirm compliance with Section 12.5 (Nonconforming Sites).
2. Provide the missing items of required application and site plan information as part of the final site plan submittal per Section 14.2.P. (Required Site Plan Information).

MOTION TO POSTPONE ACTION:

Motion by _____, supported by _____, to postpone action on the PSPR 21-14 preliminary site plan from The Four-Leaf Companies for the Summerhill Village Mobile Home Park – New Clubhouse and Parking Lot Improvements located at 5280 S. Mission Road until _____, 2021 for the following reasons: _____

MOTION TO DENY:

Motion by _____, supported by _____, to deny the PSPR 21-14 preliminary site plan from The Four-Leaf Companies for the Summerhill Village Mobile Home Park – New Clubhouse and Parking Lot Improvements located at 5280 S. Mission Road in the northeast quarter of Section 34 and in the R-4 (Mobile Home Park) zoning district, finding that the May 25, 2021 site plan does not comply with applicable Zoning Ordinance requirements, including Sections 14.2.P. (Required Site Plan information) and 14.2.S. (Standards for Site Plan Approval), for the following reasons:

